

# Development Control A Committee Agenda



**Date:** Wednesday, 20 September 2023

**Time:** 6.00 pm

**Venue:** The Council Chamber - City Hall, College Green, Bristol, BS1 5TR

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**Councillors:** Richard Eddy (Chair), John Geater, Fi Hance, Tom Hathway, Philippa Hulme, Farah Hussain, Chris Jackson, Paula O'Rourke and Andrew Varney

**Copies to:** Philippa Howson, Stephen Peacock (Chief Executive), John Smith (Executive Director: Growth & Regeneration), Jonathan Dymond, Simone Wilding, Jane Woodhouse and Lewis Cook

**Issued by:** Allison Taylor - Democratic Services  
City Hall, PO Box 3399, Bristol, BS1 9NE  
E-mail: [democratic.services@bristol.gov.uk](mailto:democratic.services@bristol.gov.uk)

**Date:** Tuesday, 12 September 2023



# Agenda

## 1. Welcome, Introductions and Safety Information

(Pages 5 - 8)

## 2. Apologies for Absence and Substitutions

## 3. Declarations of Interest

To note any interests relevant to the consideration of items on the agenda. Please note that any declarations of interest made at the meeting which are not on the register of interests should be notified to the Monitoring Officer for inclusion.

## 4. Minutes of the previous meeting

To agree the minutes of the following meetings:-

(Pages 9 - 28)

31 May 2023;  
5 July 2023;  
9 August 2023.

## 5. Action Sheet

The Committee is requested to note any outstanding actions listed on the rolling Action Sheet for DCA Committee. (Page 29)



## 6. Appeals

To note appeals lodged, imminent public inquiries and appeals awaiting decision. **(Pages 30 - 40)**

## 7. Enforcement

To note recent enforcement notices. **(Page 41)**

## 8. Public Forum

Up to 30 minutes is allowed for this item.

Any member of the public or Councillor may participate in Public Forum. The detailed arrangements for so doing are set out in the Public Information Sheet at the back of this agenda. Public Forum items should be emailed to [democratic.services@bristol.gov.uk](mailto:democratic.services@bristol.gov.uk) and please note that the following deadlines will apply in relation to this meeting:-

Questions - Written questions must be received 3 clear working days prior to the meeting. For this meeting, this means that your question(s) must be received in this office at the latest by 5 pm on **14 September 2023**.

Petitions and Statements - Petitions and statements must be received on the working day prior to the meeting. For this meeting this means that your submission must be received in this office at the latest by 12.00 noon on **19 September 2023**.

**PLEASE NOTE THAT IN ACCORDANCE WITH THE NEW STANDING ORDERS AGREED BY BRISTOL CITY COUNCIL, YOU MUST SUBMIT EITHER A STATEMENT, PETITION OR QUESTION TO ACCOMPANY YOUR REGISTER TO SPEAK.**

In accordance with previous practice adopted for people wishing to speak at Development Control Committees, please note that you may only be allowed **1 minute** subject to the number of requests received for the meeting.

## 9. Planning and Development

**(Page 42)**

a) **23/01693/F - 27A Stonebridge Park Bristol**

**(Pages 43 - 70)**



## 10. Date of Next Meeting

2pm 1 November 2023.





# Public Information Sheet

## Inspection of Papers - Local Government (Access to Information) Act 1985

You can find papers for all our meetings on our website at [www.bristol.gov.uk](http://www.bristol.gov.uk).

## Public meetings

Public meetings including Cabinet, Full Council, regulatory meetings (where planning and licensing decisions are made) and scrutiny will now be held at City Hall.

Members of the press and public who plan to attend City Hall are advised that you may be asked to watch the meeting on a screen in another room should the numbers attending exceed the maximum occupancy of the meeting venue.

## COVID-19 Prevention Measures at City Hall (June 2022)

When attending a meeting at City Hall, the following COVID-19 prevention guidance is advised:

- promotion of good hand hygiene: washing and disinfecting hands frequently
- while face coverings are no longer mandatory, we will continue to recommend their use in venues and workplaces with limited ventilation or large groups of people.
- although legal restrictions have been removed, we should continue to be mindful of others as we navigate this next phase of the pandemic.

## COVID-19 Safety Measures for Attendance at Council Meetings (June 2022)

We request that no one attends a Council Meeting if they:

- are required to self-isolate from another country
- are suffering from symptoms of COVID-19 or
- have tested positive for COVID-19

## Other formats and languages and assistance for those with hearing impairment

You can get committee papers in other formats (e.g. large print, audio tape, braille etc) or in community languages by contacting the Democratic Services Officer. Please give as much notice as possible. We cannot guarantee re-formatting or translation of papers before the date of a particular meeting.

Committee rooms are fitted with induction loops to assist people with hearing impairment. If you require any assistance with this please speak to the Democratic Services Officer.



## Public Forum

Members of the public may make a written statement ask a question or present a petition to most meetings. Your statement or question will be sent to the Committee Members and will be published on the Council's website before the meeting. Please send it to [democratic.services@bristol.gov.uk](mailto:democratic.services@bristol.gov.uk).

The following requirements apply:

- The statement is received no later than **12.00 noon on the working day before the meeting** and is about a matter which is the responsibility of the committee concerned.
- The question is received no later than **5pm three clear working days before the meeting**.

Any statement submitted should be no longer than one side of A4 paper. If the statement is longer than this, then for reasons of cost, it may be that only the first sheet will be copied and made available at the meeting. For copyright reasons, we are unable to reproduce or publish newspaper or magazine articles that may be attached to statements.

By participating in public forum business, we will assume that you have consented to your name and the details of your submission being recorded and circulated to the Committee and published within the minutes. Your statement or question will also be made available to the public via publication on the Council's website and may be provided upon request in response to Freedom of Information Act requests in the future.

We will try to remove personal and identifiable information. However, because of time constraints we cannot guarantee this, and you may therefore wish to consider if your statement contains information that you would prefer not to be in the public domain. Other committee papers may be placed on the council's website and information within them may be searchable on the internet.

### During the meeting:

- Public Forum is normally one of the first items on the agenda, although statements and petitions that relate to specific items on the agenda may be taken just before the item concerned.
- There will be no debate on statements or petitions.
- The Chair will call each submission in turn. When you are invited to speak, please make sure that your presentation focuses on the key issues that you would like Members to consider. This will have the greatest impact.
- Your time allocation may have to be strictly limited if there are a lot of submissions. **This may be as short as one minute.**
- If there are a large number of submissions on one matter a representative may be requested to speak on the groups behalf.
- If you do not attend or speak at the meeting at which your public forum submission is being taken your statement will be noted by Members.
- Under our security arrangements, please note that members of the public (and bags) may be searched. This may apply in the interests of helping to ensure a safe meeting environment for all attending.



- As part of the drive to reduce single-use plastics in council-owned buildings, please bring your own water bottle in order to fill up from the water dispenser.

For further information about procedure rules please refer to our Constitution <https://www.bristol.gov.uk/how-council-decisions-are-made/constitution>

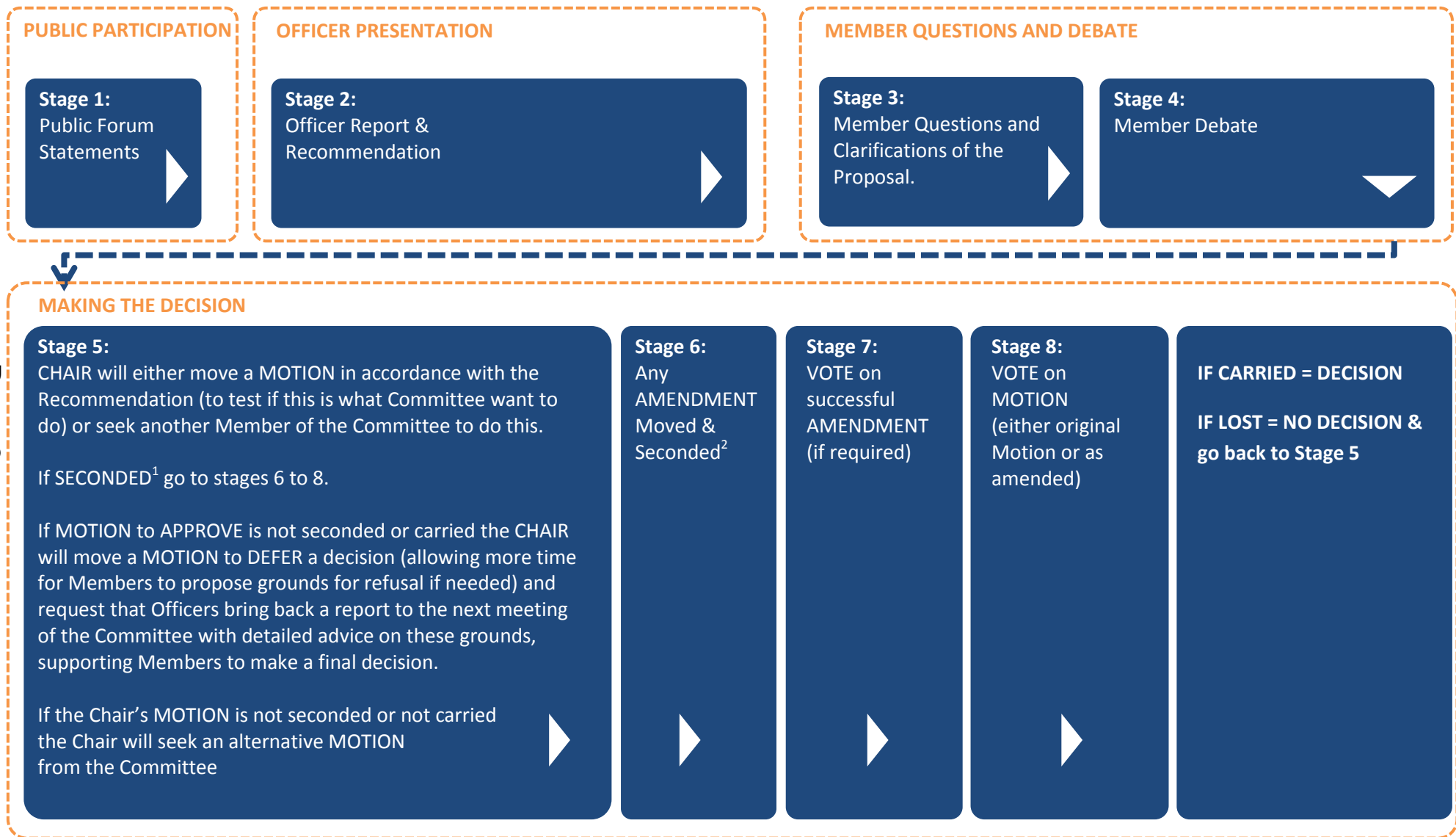
### Webcasting/ Recording of meetings

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# Development Control Committee Debate and Decision Process



Page 8

<sup>1</sup> A Motion must be Seconded in order to be formally accepted. If a Motion is not Seconded, the debate continues

<sup>2</sup> An Amendment can occur on any formally approved Motion (ie. one that has been Seconded) prior to Voting. An Amendment must itself be Seconded to be valid and cannot have the effect of negating the original Motion. If Vote carried at Stage7, then this becomes the Motion which is voted on at Stage 8



**Bristol City Council**  
**Minutes of the Development Control A**  
**Committee**



**31 May 2023 at 2.00 pm**

**Members Present:-**

**Councillors:** Richard Eddy (Chair), Philippa Hulme (Vice-Chair), John Geater, Fi Hance, Tom Hathway, Farah Hussain, Chris Jackson, Ed Plowden and Andrew Varney

**Officers in Attendance:-**

Philippa Howson, Jim Cliffe, Roy Pinney and Jeremy Livitt

**1 Welcome, Introductions and Safety Information**

The Committee noted the evacuation procedure in the event of an emergency.

They also noted that Planning Application Number 22/01221/F – St Christopher’s School, Westbury Park, Bristol BS6 7JE had been withdrawn from the agenda to be reconsidered at a future meeting with the agreement of the Lead Members of the Committee.

**2 Confirmation of Chair**

It was noted that Councillor Richard Eddy had been appointed as Chair of the DCA Committee for 2023/24 Municipal Year.

**3 Confirmation of Vice-Chair**

The Committee noted that Councillor Philippa Hulme had been appointed to act as Vice-Chair for the 2023/24 Municipal Year.

**4 Membership of Committee**

The Committee membership was noted as follows:

Councillor Richard Eddy (Chair)

Councillor Philippa Hulme (Vice-Chair)



Councillor John Geater  
Councillor Fi Hance  
Councillor Tom Hathway  
Councillor Farah Hussain  
Councillor Chris Jackson  
Councillor Ed Plowden  
Councillor Andrew Varney

The Committee noted that Councillor Sarah Classick and Councillor Steve Pearce had been incorrectly recorded as members on the Agenda Sheet.

## **5 Terms of Reference**

**RESOLVED – that the Terms of Reference for Development Control Committees be noted.**

## **6 Proposed Dates of Future Meetings**

The Committee noted the proposed dates of DCA Committee for the remainder of the 2023/24 Municipal Year as follows:

(all on Wednesdays alternating between 2pm and 6pm)

6pm on 5<sup>th</sup> July 2023 (replacing the date listed in the papers – 6pm on Wednesday 28<sup>th</sup> June 2023 – due to a potential clash with a PROWG Committee on 28<sup>th</sup> June)

2pm 9th August 2023

6pm 20th September 2023

2pm 1st November 2023

6pm 13th December 2023

2pm 24th January 2024

6pm 6th March 2024

2pm 24th April 2024

**RESOLVED – that the above dates be approved.**

## **7 Apologies for Absence and Substitutions**

There were no apologies for absence.

## **8 Declarations of Interest**

There were no Declarations of Interest.



## 9 Minutes of the previous meeting held on 26th April 2023

**RESOLVED – that the minutes of the above meeting be confirmed as a correct record and signed by Councillor Richard Eddy.**

## 10 Action Sheet

The Committee were advised that no update was yet available for the Wyevale Garden Centre Appeal but stated that he would advise the committee concerning progress as soon as practical.

It was noted that there were growing concerns in the community about this issue which needed to be addressed as soon as possible.

Action: Peter Westbury

## 11 Appeals

Item Number 45 - Land To Rear Of 44 & 46 Wrington Crescent Bristol BS13 7EP Appeal against non-determination: Construction of 2no. three bedroom semi-detached dwellings – appeal dismissed and costs awarded.

Councillor Eddy enquired into the circumstances of the appeal decision and in particular why the appeal was dismissed but costs still awarded against the Local Planning Authority. Officers undertook to inform him of this by e-mail.

**ACTION: Peter Westbury**

## 12 Enforcement

In responding to a member's question concerning an update on the situation concerning enforcement, it was noted that it had not been possible to obtain a comparator record at the present time.

Therefore, a written update would be provided by officers at a future meeting, as indicated in the action sheet.

## 13 Public Forum

Members of the Committee received Public Forum Statements in advance of the meeting.



The Statements were heard before the application they related to and were taken fully into consideration by the Committee prior to reaching a decision.

Councillor Eddy emphasized that Public Forum was limited to 30 minutes and one minute per speaker. Since the number of requests to speak had exceeded this limit, the speakers had been preselected to speak on a first come, first served basis.

The following supplementary questions were asked by David Redgewell in response to the formal questions that he had submitted concerning Planning Application Number 22/03476/F – The Vassal Centre, Gill Avenue, Fishponds:

**Supplementary Question 1: What progress has there been on a Section S106 Agreement for a public bus service to the centre of the city for a conference centre to enable disabled people to have a right of access and what discussions have taken place with WECA concerning this?**

Officer Response: David Redgewell was referred to the presentation that would shortly be provided on this Planning Application. He also stated that work on Section 106 will begin if members were minded to approve the application.

**Supplementary Question 2: As the adjacent Authority to South Gloucestershire, what discussions have taken place concerning a travel plan and access for disabled people for residents of both Local Authorities and also involving the West of England region (through WECA)?**

Officer Response: We will consult with colleagues at S Gloucestershire and WECA as required.

## **14 Planning and Development**

The Committee considered the following Planning Applications:

### **a 22/03476/F - The Vassal Centre, Gill Avenue, Fishponds**

Officers introduced this report and made the following points during their presentation:

- The planning application was for a C2 residential development with 14 units for the elderly and some office facilities, together with uses for a nursery, creche or day centre, a café and landscaping
- The Committee was provided with information about Phases 1 and 2 of the development with primarily social housing
- A plan showing the development was shown
- 91 objections had been received to the application





- There were concerns related to overlooking at the site, the height of buildings, the fact that it was not in keeping with the street scene, parking and loss of community facilities, together with overlooking and overshadowing
- A study commissioned by the agent showed that most shadowing was along the boundary
- Concerns had been raised about the bus service and travel plans had been conditioned accordingly
- The site was considered to be in a sustainable centre and was in keeping with what was required. The Committee was advised that it met sustainability targets
- The benefits for the scheme were deemed to outweigh the negatives

The application was therefore deemed acceptable and recommended for approval.

In response to members' questions, officers made the following comments:

- The Construction Management Plan was the key to ensuring that the effects of construction traffic and disturbance arising from it would be kept to a minimum
- The travel plan would be conditioned to examine bus provision in liaison with South Gloucestershire and WECA as appropriate. There were Section 106 provisions available which could be used for this purpose
- There was a positive net gain for biodiversity and carbon reduction included a 20% saving which met policy standards
- The distance window to window from Willow Bed Close was around 30 metres which was deemed acceptable from a security point of view. In addition, the site would be floodlit. The main parts of the site will be public open space with passive surveillance from the staff office
- The issue of disabled parking spaces would be controlled through condition 33 which required a Car Park Management Plan. The design was a scale flat roof
- It would be possible within existing conditions to discuss usage with users and increase any blue badge facilities at that point. The Committee requested that officers ensure arrangements include sufficient provision for disabled parking on site **ACTION: Pip Howson**
- The lighting plan will include a limit to the amount of luminescence and lux. There would be visual landscaping around the boundary
- There would be a significant amount of tree planting and a landscape plan creating a green buffer with trees of differing heights

Councillors made the following comments:

- It was important that this site should continue to have a key role for people in community uses in the area
- Bristol charities should be congratulated for coming forward with an imaginative scheme which also provides social affordable housing.
- It was important that disabled parking is adequately protected
- The implementation of a travel plan by officers was important



- Any significant development in a residential area needs a Construction Management Plan to limit disturbance and noise.
- Issues such as shadowing and impact on residential amenity were of concern but did not appear to breach our policies
- The application should be supported subject to conditions being properly followed through to ensure adequate safeguarding of the community
- The benefits of the scheme outweighed the negatives
- Whilst there was sympathy for neighbours to the scheme, a three storey development is difficult in a neighbourhood. However, the benefits outweighed the concerns – it was a brown field site, it would improve community facilities, there was specialist elderly accommodation and there would be carbon reduction
- Although the concern of neighbours was noted, the Site Visit was reassuring that any potential issues would be addressed
- There needed to be an assessment of the required amount of parking and a transport plan together with the possibility of support through a Section 106 agreement for a bus service and adequate parking controls. On balance, the scheme should be supported
- Most of shadowing would be limited due to the building. If a Section 106 Agreement can be made to improve it, this would be helpful. On balance, this is a good development and should be supported

Councillor Richard Eddy moved, seconded by Councillor Andrew Varney and upon being put to the vote, it was

**RESOLVED: (unanimously) – that the application be approved subject to the conditions set out in the report.**

### **b 22/03924/P - Broadwalk Shopping Centre**

The Committee noted that it should only include issues that are germane to an outline planning application in its consideration of this item.

Officers introduced this report and made the following presentation:

- The scheme was for outline planning permission only with only access to the site being a key feature
- All matters related to scale, detail design and landscaping are reserved for subsequent approval
- The red line indicated those parts of the site not included in the proposed shopping centre
- The site would provide a mix of uses including up to a maximum of 800 homes with F2 community uses
- The indicative layout was set out. In principle the site could accommodate what was proposed
- The areas highlighted in green on the plan set out the areas given over to public space.



- The route through from Wells Road to Redcatch Park was set out, including details of height and planning permission
- Following a viability assessment, 80 affordable homes were proposed. Any buildings that were demolished would be subject to a Section 106 agreement, planning conditions and reserved matters and would not be cleared until some time in the future
- The site was within the Knowle/Broadwalk Town Centre and would result in a very small increase in shop frontage
- There would be an economic benefit of a £200 Million investment with up to 500 jobs, a new pedestrian route and new community facilities including a library. The development would be phased with an initial development of 30 commercial units
- The site was identified on the plan showing the area where height concentrated. The adopted policy says that new housing would be directed towards south Bristol with a staging post to establish if it could be accommodated in principle and how it would overlook the site

Officers recommended approval of the planning application subject to a legal agreement.

In response to members' questions, officers made the following comments:

- No detailed design was yet available. Whilst an initial assessment was that 420 dwellings could be achieved on site, this would be subject to a more detailed assessment including a financial feasibility study
- The application had been accompanied by a viability appraisal with information from Savills broadly in accordance with this. Bristol City Council will appoint its own consultant to assess if the scheme is viable or not – the main area of difference is in benchmark land value, with the amount expected to receive about £4 Million less than estimated by Savilles which amounted to approximately 50 to 80 affordable units.
- BCC's affordable policy has a target percentage (30%) to be sought through negotiation subject to scheme viability. Although BCC might approve 10/20% housing, this does not confirm if it is housing compliant. This is the maximum it can afford but it will be reassessed to see if can get to 30% target
- Since there is currently no detailed design, it was not yet possible to assess the accuracy of the energy design with conditions to be secured at a later date
- Officers noted some members' concern about the provision of information relating to this development on the site when the Committee was only being asked to confirm whether or not it agreed with outline planning permission
- If approved in principle it could deliver the amount of development set out. Whilst the application of numbers on the site for 850 units enabled an assessment of viability, it was not yet possible to assess further detail with the information available. Officers had assessed that it could be approved in principle
- The full application could not be considered until an outline application had been approved
- Viability had been assessed based on 817 units with floor space a key factor in this since this could affect the number of dwellings. Demolition costs were very high on the site with no tenders



known for this work at the moment. There was not enough detail to assess whether or not this was based on the cost of each individual unit or a 12 storey building

- Officers noted that the possibility of using Section 106 funding had not been assessed. The Committee was advised that when Bristol City Council became a CIL charging authority in 2013, this reduced the scope of the use of S106 Agreements. Since then, a Section 106 agreement had not been sought for parks which was a policy decision at the time. Under the current circumstances, the CIL levy would be a minimum of £4 Million and could be more with 15% of CIL going to Area Committees to decide. Bristol City councils could always allocate strategic CIL for parks
- Whilst no assessments had yet been made on the impact of size and density of the development on health, this would be addressed as the development had to comply with national space standards. The Health Impact Assessment Development would be used as a means of assessing this.
- Since the density was the worst case scenario taking into account the size of the site and likely numbers of dwelling, it was reasonable to assess this with some indicative information. However, any proposal would need to comply with the required policies
- Whilst it was likely that any proposed scheme would be large given the scale of the outline application, any development would be assessed against policy in the same way. Officers had balanced the benefits of the outline application against the impact and had concluded that it was achievable.
- Members' attention was drawn to Paragraph 9.58 of the report setting out details of the Vertical Sky Component assessment
- The Committee's concerns were noted about the existing supermarket, cinema provision and the role of Redcatch Park. However, officers pointed out that these were not part of the current application process
- Whilst affordable housing was a key material consideration, all developers were required to comply with a development plan proposal. The Committee were able to assess the design as well as amenity
- The issue of commercial space was a commercial issue for the developer and not within the planning remit
- It was usual practice for a builders plan to be prepared for schemes using the Building Cost Association Service (BCIS) which assesses this on the basis of pound per square metre. Following a request from BCC's affordable housing team, Housing Associations were approached to assess the base build costs. The estimated base build was greater than the BCIS medium but also greater than that estimated by the developer
- Any proposal for funding through a Section 106 scheme was not supported by planning policy and would be difficult to defend at appeal
- It was noted that there was reference in the report to developer's comments to the urban living document which stated that offsite provision for children's play can be provisioned if not provided on site. Officers pointed out that there was no mechanism to secure these funds
- The Committee was advised that Redcatch Park was not assessed as part of the development
- It was a planning obligation to provide a certain amount of affordable housing. However, the Planning Authority could not require a developer to pay funds before the scheme commenced and since it was not known when the scheme would start, it was not possible to require this to be carried out within a certain date.



Committee members made the following comments:

- It was important that Broadwalk should not end up like the scheme in St Catherine's Parade in Bedminster. Whilst there would be difficult decisions to be made in future, outline planning consent was required for the scheme to progress to the next stage and to signal a willingness to invest in Broadwalk and to provide certainty in allowing the required improvements to be made.
- Whilst there may be concerns about the level of affordable housing, schemes with zero affordable housing had been approved in the past
- Strategic CIL could be allocated to the park area and a marker for a residents parking scheme could be provided with approval of the scheme
- There were a number of elements of this scheme which had merit such as the regeneration of a very run down area, the arrangements for street scene, the proposals for recycled and embedded carbon and helping traders who were struggling in the area.
- Since the viability assessment could only contain what was included within the report, there was a lack of balance to aspects of the scheme. For example, it was argued that height, density and mass were well in excess of what had been recommended for national research. Further concerns related to the impact of such a potentially large development on health and the lack of sufficient affordable housing
- The application should be opposed. There were concerns relating to the lack of Section 106 agreement and the need for an assessment for a residents' parking zone
- The area is failing and there are merits to the scheme such as pedestrianisation, biodiversity net gain and the building of energy efficient buildings. However, the proposal for 850 units would lead to the buildings being excessively high up to 12 storeys (in a Victorian/Edwardian suburb). In addition, the buildings were far too dense and there was a lack of affordable housing. Therefore, the application should not be supported
- Whilst the need for development on this site was recognised, an outline development for such a dense development should not be supported

In accordance with convention, Councillor Richard Eddy asked for any Councillor to propose the officers' recommendation for approval but no Councillor moved it.

Councillor Fi Hance moved, seconded by Councillor Andrew Varney and it was

**RESOLVED: (unanimously) – that the Committee is minded to refuse the application on the grounds of the likely proposed density of housing per hectare and that the application is deferred to a future meeting including suggested reasons for refusal on this basis.**

### 15 Date of Next Meeting

Following the decision made under Minute Number 9, it was noted that the next meeting would be held at 6pm on Wednesday 5<sup>th</sup> July 2023 in the Council Chamber, City Hall, College Green, Bristol.

The meeting ended at 5.20 pm

**CHAIR** \_\_\_\_\_



**Bristol City Council**  
**Minutes of the Development Control A**  
**Committee Meeting**  
**5<sup>th</sup> July 2023 at 6.00 pm**



**Members Present:**

**Councillors:** Richard Eddy (Chair), John Geater, Fi Hance, Tom Hathway, Philippa Hulme (Vice Chair), Farah Hussain, Chris Jackson, Ed Plowden and Andrew Varney.

**Officers in Attendance:**

Peter Westbury (Team Manager, Development Management), Presenting Officers (Development Management), Pip Howson (Transport Development Manager), Jim Cliffe (S106 and CIL Project Manager) and Norman Cornthwaite (Democratic Services)

**1 Welcome, Introduction and Safety Information**

Councillor Eddy welcomed everyone to the meeting and issued the safety information.

**2 Apologies for Absence**

There were none.

**3. Declarations of Interest**

None were received.

**4. Minutes of the Previous Meeting held on 31<sup>st</sup> May 2023**

It was agreed that consideration of these Minutes be deferred until a future Meeting of the Committee.

**5. Action Sheet**

The progress relating to each of the items was noted.





## 6. Appeals

The Team Manager, Development Management introduced the report.

## 7. Enforcement

The Team Manager, Development Management introduced the report.

## 8. 22/03924/P - Broadwalk Shopping Centre Broad Walk Bristol BS4 2QU

Councillor Eddy reminded everyone that the item had been adjourned from the last Meeting and that the Public Forum Statements received for that Meeting would be taken into account. He also reminded the Members that the item had been debated at great length at the previous Meeting and it would not be appropriate to rerun the same debate at this Meeting. The debate at this Meeting should concentrate on the update report presented by Officers with the Spokespersons summarising as previously agreed with them.

The Team Manager, Development Management introduced the report, summarised it for everyone and gave a presentation. He confirmed that there had been no amendment to the application and that Officers were suggesting reasons for refusal which could be debated and voted on. No final decision on the application had been taken.

The application is for Outline Planning Permission with some matters reserved - Demolition of existing buildings and erection of a mixed use scheme comprising residential units (Class C3), commercial floorspace (Class E), community use (flexible Class E/Class F2), library floorspace (Class F1), cinema/ theatre floorspace (Class sui generis), vehicle parking spaces, cycle parking, and associated landscaping, public realm, access and servicing arrangements, and circulation space. All matters reserved except for access. (Major)

The following answers were provided to questions:

- The level of affordable housing to be provided is policy compliant as it has been through a viability assessment; the application could not therefore be refused on the grounds of lack of affordable housing
- The scheme would provide 9.8% affordable housing through the planning system if it were to be approved; more affordable housing could be provided through for example Homes England Grant or other funding mechanisms, above that required by the planning approval
- There cannot be any control over or guarantees on the provision of more than 9.8% affordable housing; there will be ongoing viability reviews – to assess if the economic viability of the development has improved - carried out throughout the life of the development to see if any further affordable housing can be provided through the planning system, but there can be no guarantees about the required level of affordable housing being increased; the S106 Agreement



can only require a level of 9.8% affordable housing, even though the developer has indicated that they may be able/prepared to increase the level of affordable housing

- Should planning approval be given to this application, the issue of affordable housing could not be considered again in relation to reserved matters as it will have been dealt with in relation to this application for outline approval

## Debate

- Cllr Eddy stated that he had spoken in favour at the last Meeting will continue to support the application as he has great concerns about the future of Broadwalk Shopping Centre; this mixed use scheme is an opportunity to give certainty about the future of Broadwalk Shopping Centre and regenerate the area with the large investment proposed by this application; this scheme would bring a large financial investment into the area and create a substantial number of jobs; he acknowledged that there are major concerns about the scheme but noted this is an outline application and the height and massing do not exceed what was granted planning permission two years ago; Members need to consider very carefully the proposed grounds for refusal and decide if they are strong enough to win an appeal; he also acknowledged the concerns about the level of affordable housing being offered; he would be voting for the application as he considers on balance the merits of the scheme outweigh the disadvantages of the scheme; he is concerned that refusing the application would be very detrimental to Broadwalk Shopping Centre and could leave it without a future
- Cllr Hulme stated that she agreed with what Cllr Eddy has said and that having read the papers and listened to the Officer presentation, the planning balance has shifted more in favour of approval of the application; there are a lot of gains to be had from the scheme and many of the businesses in the area are in favour of the development; she acknowledged that the living conditions could be better with a lower density but this may be difficult to achieve on this site; the development would help regenerate the area and there are sustainability gains to be had in terms of energy efficiency and carbon reduction; there would be facilities provided for community use; the 9.8% affordable housing is not ideal but it is hoped that if the scheme is approved the applicant would work hard with partners to increase the level of affordable housing; will support the grant of the application as although it is not ideal it is best that be achieved
- Cllr Varney stated that the scheme has a lot of positive aspects to it, but the central objection of an over intensive development remains; will vote to refuse
- Cllr Hance stated that there had been a unanimous vote at the previous Meeting in terms of the Committee being minded to refuse the application dependant on Officers providing viable planning reasons for refusal and nothing has changed with the application, meaning the development would still be over intensive; will vote to refuse

Cllr Hance moved the Officer Recommendation that the application be Refused.

Cllr Varney seconded this Motion.





The Vote was 4 for (Cllrs Hance, Hathway, Plowden and Varney), 4 against (Cllrs Eddy, Hulme, Hussain and Jackson) and 1 abstention (Cllr Geater). Councillor Eddy then used his second (or casting) vote to vote against the Motion. The Motion was therefore LOST.

Cllr Eddy moved that the application be Granted subject to Conditions.

Cllr Jackson seconded this Motion.

The Vote was 4 for (Cllrs Eddy, Hulme, Hussain and Jackson), 4 against (Cllrs Hance, Hathway, Plowden and Varney) and 1 abstention (Cllr Geater). Councillor Eddy then used his second (or casting) vote to vote for the Motion. The Motion was therefore CARRIED.

It was therefore

**Resolved – that the application be Granted subject to Conditions.**

### **9. 22/01548/F - Christadelphian Meeting Room Church Hill Bristol BS4 4LT**

The Presenting Officer introduced the report, summarised it for everyone and gave a presentation.

The application is for a change of use of a place of worship (Class F) to a ten-bedroom House in Multiple Occupancy (Sui Generis).

The following answers were provided to questions:

- The S106 contribution is required as it may be necessary to do some traffic management in the area in relation to the application, although this would not be agreed until the technical approval stage of the S278
- It was noted that the bus service mentioned in the report is no longer running but that there are alternative services on the adjacent A4 Bath Road
- Although the site is in the flood zone the Environment Agency do not have concerns about the risk of flooding due to the topography of the site
- The space plans have been assessed against HMO requirements including the measuring of head height in relation to the floor areas and assessing the space standard for each bedroom in relation to the licensing requirements
- The Management Plan was submitted after the report was completed and is referenced on the Amendment Sheet; Pollution Control have commented on it to ensure that there are no noise issues

Debate

- The application is policy compliant
- There have been reassurances provided concerning the Traffic Regulations



- The building has been unused for a number of years and nobody has come forward to make use of it; the building remaining empty will have a negative impact on the Conservation Area

Cllr Eddy moved the Officer Recommendation to Grant the application.

Cllr Varney seconded this Motion.

On being put to the Vote it was

**Resolved – (Voting 9 for (Cllrs Eddy, Geater, Hathway, Hance, Hulme, Hussain, Jackson, Plowden and Varney), 0 against and 0 abstentions) that the application be Granted subject to Planning Agreement.**

#### **10. 22/03645/F - Basement Flat 4 Elliston Road Bristol BS6 6QE**

(Cllr Eddy advised Members that Cllr Poultney had been unable to submit a Public Forum Statement to support his referral of the application to Committee.)

The Presenting Officer introduced the report, summarised it for everyone and gave a presentation.

The application is for a detached single storey structure to the rear of the property for use as gym/home office, erection of a boundary wall to the rear, and bin storage.

The following answers were provided to questions:

- There were no objections to the previous application
- It was confirmed that buildings are sometimes constructed without planning permission resulting in the permission having to be applied for retrospectively; however this at a developer's own risk as permission may not be granted

Debate

- The application is policy compliant

Cllr Eddy moved the Officer Recommendation that the application be Granted.

Cllr Jackson seconded the Motion.

On being put to the Vote it was

**Resolved – (Voting 9 for (Cllrs Eddy, Geater, Hathway, Hance, Hulme, Hussain, Jackson, Plowden and Varney), 0 against and 0 abstentions) that the application be Granted subject to Conditions.**



The Meeting ended at 7.25 pm.

The next Meeting of the Committee is on 9<sup>th</sup> August 2023 at 2.00 pm.

Chair \_\_\_\_\_



# Bristol City Council

## Minutes of the Development Control A Committee

9 August 2023 at 2pm



### Members Present:

**Councillors:** Richard Eddy (Chair), Jonathan Hucker (substitute for John Geater), Guy Poultney (substitute for Fi Hance), Tom Hathway, Philippa Hulme (Vice Chair), Chris Jackson, Ed Plowden and Andrew Varney.

### Officers in Attendance:

Peter Westbury – Team Manager - Development Management, Pip Howson - Transport Development Manager and Allison Taylor - Democratic Services

## 1 Welcome, Introduction and Safety Information

Councillor Eddy welcomed everyone to the meeting and issued the safety information.

## 2 Apologies for Absence

These were received from Councillor Geater (Councillor Hucker as substitute), Councillor Hance (Councillor Poultney as substitute) and Councillor Hussain.

## 3. Declarations of Interest

None were received.

## 4. Minutes of the Previous Meeting held on 31<sup>st</sup> May 2023

The Committee noted that 31 May Minutes had not been agreed at the last meeting and was therefore before the Committee for approval. It was noted that it had not been possible to bring the minutes of the last meeting (5 July) to this Committee for approval but they would be available for the 20 September meeting.

There was some discussion regarding the wording of the resolution for the Broadwalk Shopping Centre application within 31 May minutes. Councillor Eddy agreed that the Officers review the wording outside of the meeting and the 31 May minutes come back to this Committee for approval on 20 September meeting.



At this point, Councillor Plowden announced his intention to resign from the committee.

## 5. Action Sheet

It was agreed that Action No. 3 could now be removed from the Action Sheet.

In reference to an outstanding action on the Action Sheet, the Team Manager, DM agreed to update the Committee at its meeting on 20 September.

## 6. Appeals

Item 61 – Grass verge of Passage Road, Westbury, Bristol. The Committee noted that the Inspector had taken the view that as this was replacing an 11.5m mast which was part of the street furniture he would allow the appeal.

## 7. Enforcement

No Enforcement Notices were listed as having been issued.

## 8. 22/01221/F - St Christophers School Westbury Park Bristol.

An Amendment Sheet was provided to the Committee in advance of the meeting, detailing changes since the publication of the original report.

The Case Officer summarized the key aspects of the application for the benefit of the Committee and the following points arose from questions:-

1. The application had been originally submitted in 2022. The current scheme before the Committee was a revised version from that originally submitted and included some reduction in height. Officers advice regarding concerns over height and scale had been consistent since the pre-application stage and throughout the determination of this application. This advice was outlined in Appendix A of the Committee Report. However the concerns had not been addressed by the applicant;
2. The arboriculture officer had assessed one tree on the site, using the biodiversity net gain metric, as veteran and therefore objected to the location of development within the root protection area of the tree. The applicants undertook their own assessment and concluded they it was not veteran. Officers therefore sought 3<sup>rd</sup> party advice which concluded that the tree was veteran. Besides this, the tree in question was a category A and along with the two other category A trees were therefore unacceptable for removal;
3. The C2 Class was a judgment and not conclusive decision. Officers had commissioned a research report and it was concluded that, as there was an element of care it was, on balance, C2;
4. This was a unique application in terms of how the contribution was determined and there had been lengthy discussions with commissioning team and project officers in Education. In the last 5 years data



showed that BCC had commissioned on average 7.25 places per year, although there were more self-funded places. National benchmarking determined a cost of £74, 920 per place in a new school. This was a cost for the infrastructure for a new place – and not the teaching. BCC places were only considered as that was the only reliable data. It wasn't possible to get firm data from the previous management of the school. The loss of these school places was referenced in the Equalities Impact Assessment at para. 2.88;

- 5 Wessex Water had not confirmed if the run-off rates [to the surface water sewer connection] were acceptable. A condition had been included in the Amendment Sheet should the Committee be minded to approve the application;
- 6 Whilst the final acceptance of the waste provision had not been confirmed by Bristol Waste, Transport Development Management (TDM) managed refuse and recycling management and they were satisfied;
- 7 The Transport Development Manager stated that the option of a Residents' Parking Scheme to deal with overspill parking as a result of the development was the choice of residents. The applicant had indicated that they would be willing to contribute towards this and that could not be considered a 'severe' impact upon the highway and a reason for refusal should not be included;
- 8 The biodiversity net gain assessment was a metric based system with a quantitative approach which was dependent on how much weight & value put into the metric. There was technically a net gain on site but officers were not satisfied with the loss of trees and irreplaceable habitat. The preference in policy was to retain habitats onsite, and then replace if required.

The following points arose from debate:-

1. There was disappointment that the issues with the application could not have been resolved so that officers could recommend approval. There was support in principle for the development in this locality and there was a need for care giving and this location was appropriate. The loss of SEND places was concerning but supported a scheme at the Claremont School. The additional employment in the area was positive and the applicant supporting a residents parking scheme was welcomed. It was, however, difficult to argue against the officer conclusions regarding the harm to conservation area in terms of the scale, height and massing and the category A trees proposed to be lost. Refusal was supported;
2. The Committee was reminded that officers had recommended 2 grounds for refusal which were defensible. Adding additional reasons which could not be defended had previously resulted in appeals against refusal being upheld but costs still being awarded to the applicant;
3. Some elements of the application were positive and the applicant's engagement with members had been welcomed. The public benefits of the scheme did not outweigh the harm. The scheme was not landscape-led and the loss of the veteran trees was unacceptable;
4. Officers had recommended the most defensible reasons for refusal. With the current state of SEND provision in Bristol, the £500k contribution was not considered to be sufficient mitigation for the loss of places. This, along with the lack of onsite parking, should be added to the reasons for refusal;
5. The Committee noted that education officers had advised that the loss of SEN was not a ground for refusal. Also an LPA did not have the power to enforce a residents' parking scheme, only to encourage it;



6. The principle of the development was supported but reasons for refusal were compelling. The development was overbearing, out of keeping and the loss of trees unacceptable. Refusal was supported;
7. On completion of the debate, Councillor Eddy moved the officer recommendation and this was seconded by Councillor Varney and on being put to the vote it was unanimously carried;
8. Councillor Poultney then moved the officer recommendation with the additional two reasons of loss of SEND provision and the unacceptable impact on parking in the local area and this was seconded by Councillor Hathway;
9. Before voting the Team Manager, DM advised extreme caution regarding the loss of SEND provision as a reason for refusal as it was not a planning reason and could not be defended at appeal. He accepted the parking impact as a reason;
10. On being put to the vote it was lost (3 for, 5 against) and it was therefore:-

**Resolved – (Unanimously) That the application be refused for the following reasons:-**

**1. The proposed development would be out of scale and context with the Downs Conservation Area and the Grade II Listed building 'Grace House'. The quantum and massing of development would result in a loss of the site's verdant character and would crowd and overbear existing buildings and create a harmful relationship between proposed buildings. This would fail to preserve or enhance the designated heritage assets on site contrary to Policies BCS22 and DM31, fail to contribute positively to the area's character and identity, contrary to Policies BCS21, DM26 and DM27 and fail to provide a high-quality living environment for future occupiers contrary to Policy BCS21.**

**2. The proposed development would fail to integrate important existing trees by causing the loss of T52 and T65 and would likely cause T7 to deteriorate by undertaking works within the Root Protection Area. This would be contrary to Paragraph 180 of the NPPF and Policy DM17.**

## **9. Date of next meeting.**

20 September 2023 at 6pm.

Councillor Eddy wished to take the opportunity to wish Peter Westbury well for his forthcoming sabbatical and this was echoed by the Committee.

The meeting ended at 3.40pm.



Chair \_\_\_\_\_





## Action Sheet – Development Control Committee A

Date of Meeting	Item/report	Action	Responsible officer(s)/Councillor	Action taken / progress
21/12/22 and 31/05/23	Enforcement	Annual benchmarking report to DC comparing performance with other core cities would be useful. This was agreed.	Head of DM	Report to come to Committee in 2023/24 Municipal Year – officers to report on progress, an update to be provided – officers had previously indicated that comparators were not currently available
31/05/23	Appeals - Former Wyevale Garden Centre Application	To provide timeline for determination	Head of DM	Officers to report progress at 31 <sup>st</sup> May 2023 Meeting – No Progress Yet, an Update to be Provided to a future Committee
9/8/23	Enforcement	To update the Committee for Sept Cttee	Team Leader – Development Management	

## DEVELOPMENT CONTROL COMMITTEE A

20 September 2023

### REPORT OF THE DIRECTOR: DEVELOPMENT OF PLACE

#### LIST OF CURRENT APPEALS

##### Householder appeal

Item	Ward	Address, description and appeal type	Date lodged
1	Clifton	21 Constitution Hill Bristol BS8 1DG Mansard roof extension. Appeal against refusal Delegated decision	25/04/2023
2	Ashley	85 York Road Montpelier Bristol BS6 5QD Loft conversion - Erection of a rear dormer and installation of 3 x roof lights on the front roof slope. Appeal against refusal Delegated decision	08/08/2023
3	Westbury-on-Trym & Henleaze	137 Northover Road Bristol BS9 3LG Retention of existing metal railings to roof of single storey extension to rear of property and implementation of new timber screening to sides. Appeal against refusal Delegated decision	25/08/2023

##### Informal hearing

Item	Ward	Address, description and appeal type	Date of hearing
4	Easton	91 - 101 Church Road Redfield Bristol BS5 9JS Outline application for the demolition of buildings and erection of student accommodation, with access, with layout and scale to be considered. Appeal against non-determination	31/10/2023

5	Lockleaze	Ever Ready House Narroways Road Bristol BS2 9XB Outline application with access, layout and scale to be considered, for demolition of existing buildings and redevelopment of site to provide up to 40no. C3 dwellings and up to 3no. Class E units with associated drainage and hard/soft landscape works. (MAJOR) Appeal against non-determination	TBA
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## Written representation

Item	Ward	Address, description and appeal type	Date lodged
6	Cotham	71 Arley Hill Bristol BS6 5PJ Enforcement notice appeal for change of use of the building to large HMO with 8 bedrooms. Appeal against an enforcement notice	15/12/2022
7	Cotham	71 Arley Hill Bristol BS6 5PJ Change of use of the upper floors residential unit from small 6 bedroom HMO C4 to large HMO (Sui Generis Use) for 8 bedrooms (Retrospective). Appeal against refusal Delegated decision	15/12/2022
8	Southville	20 Mount Pleasant Terrace Bristol BS3 1LF Enforcement notice appeal for change of use to HMO (C4) without planning permission. Appeal against an enforcement notice	01/02/2023
9	Redland	186 Redland Road Bristol BS6 6YH Retention of stainless steel/glass balustrade, at roof level. Appeal against refusal Delegated decision	03/03/2023
10	Redland	186 Redland Road Bristol BS6 6YH Enforcement notice appeal for an installation of stainless steel/glass balustrade at roof level to form roof terrace without planning permission. Appeal against an enforcement notice	03/03/2023
11	St George Central	20 Grantham Road Bristol BS15 1JR Conversion and extension of existing garage to rear garden to provide additional living accommodation associated to the main dwelling. Appeal against refusal Delegated decision	13/04/2023

12	Hengrove & Whitchurch Park	Bamfield Streetworks Bamfield Bristol BS14 0XD Application to determine if prior approval is required for a proposed telecommunications installation: Proposed 15.0m Phase 8 Monopole C/W wrapround cabinet at base and associated ancillary works. Appeal against refusal Delegated decision	13/04/2023
13	Knowle	318 Wells Road Knowle Bristol BS4 2QG Proposed kitchen extraction from A3 Unit below. Appeal against refusal Delegated decision	13/04/2023
14	Easton	1B & 1C Woodbine Road Bristol BS5 9AJ Change of use from 2 dwelling houses (C3a) to 2 small HMO for up to 6 people (C4). Appeal against non-determination	20/04/2023
15	Stoke Bishop	Telecoms Equipment Edge Of Green Shirehampton Road Sea Mills Bristol BS9 2EQ Application to determine if prior approval is required for a proposed telecommunications installation: Proposed 15.0m Phase 9 slimline Monopole and associated ancillary works. Appeal against refusal Delegated decision	21/04/2023
16	Knowle	Land At Junction With Redcatch Road St Agnes Avenue Bristol BS4 2HQ Erection of dwelling (Renewal of planning permission granted on appeal ref APP/Z0116/W/18/3196399 - BCC 16/06418/F) - self build. Appeal against refusal Delegated decision	04/05/2023
17	Knowle	100 Redcatch Road Bristol BS4 2HQ Demolition and re-positioning of curtilage listed stone wall with brick capping. Appeal against refusal Delegated decision	04/05/2023
18	Ashley	6 Sussex Place Bristol BS2 9QW Conversion of this single dwelling into two flats and a maisonette, including provision of bin/cycle storage facilities and associated external alterations. Appeal against non-determination Delegated decision	10/05/2023

19	Knowle	100 Redcatch Road Bristol BS4 2HQ Erection of dwelling (Renewal of planning permission granted on appeal ref APP/Z0116/W/18/3196399 - BCC 16/06418/F) - self build. Appeal against non-determination	16/05/2023
20	Knowle	100 Redcatch Road Bristol BS4 2HQ Demolition and re-building of curtilage listed stone wall with brick capping in the same position as the existing wall. Appeal against non-determination	16/05/2023
21	Clifton Down	Redland Filling Station Hampton Road Bristol BS6 6JA Installation of vehicle charging points and associated electrical infrastructure and associated works. (Retrospective) Appeal against refusal Delegated decision	16/05/2023
22	Bishopston & Ashley Down	387 Gloucester Road Horfield Bristol BS7 8TS The retention of an Automated Teller Machine and associated signage. Appeal against refusal Delegated decision	16/05/2023
23	Cotham	Garage To Rear Of 3 Clyde Park Bristol BS6 6RR Demolition of garage and erection of dwellinghouse (Use Class C3). Appeal against non-determination	18/05/2023
24	Brislington West	21 Wick Crescent Bristol BS4 4HG Proposed development of two storey detached 2-bed dwelling, located within the rear garden. Appeal against non-determination Delegated decision	23/05/2023
25	Ashley	6 Sussex Place Bristol BS2 9QW Conversion of this single dwelling into two flats and a maisonette including the renovation of the property as a listed building. Appeal against non-determination	24/05/2023
26	St George Troopers Hill	106 Fir Tree Lane Bristol BS5 8BJ Demolition of dwellinghouse and erection of a three-storey building comprising 9no. self-contained flats with associated soft and hard landscaping. Appeal against non-determination	22/06/2023

27	Clifton Down	The Vincent Redland Hill Bristol BS6 6BJ Proposed retention of 2no. hoarding signs (temporary consent for 2 years). Appeal against refusal Delegated decision	23/06/2023
28	Henbury & Brentry	The Dower House Station Road Henbury Bristol BS10 7QJ Proposed 1no. detached 4 bedroom dwelling and garage with on-site parking and associated works. Appeal against non-determination	27/06/2023
29	St George West	Land At Junction Of Church Road And Chalks Road Bristol BS5 9EN Erection of a third floor to consented scheme 22/00111/X, to provide 1no. additional self-contained flat, including alterations to approved external appearance. Appeal against non-determination	28/06/2023
30	Clifton	22 Regent Street Bristol BS8 4HG First floor single storey flat with a green roof and courtyard area above the ground floor shop extension to the rear of No. 22 Regent Street. To create an additional bedroom to the existing attic flat with a matching tiled mansard roof between 22 and 24 Regent Street. To renovate and restore the old shopfront to new arched windows to match previous existing. Appeal against refusal Delegated decision	30/06/2023
31	Clifton	22 Regent Street Bristol BS8 4HG Additional first floor, single storey flat with a green roof and courtyard area above the ground floor shop extension to the rear of No. 22 Regent Street. To create an additional bedroom to the existing attic flat with a matching tiled mansard roof between 22 and 24 Regent Street. To renovate and restore the old shopfront to new arched windows to match previous existing. Appeal against refusal Delegated decision	30/06/2023
32	Ashley	23 Wathen Road Bristol BS6 5BY Appeal against enforcement notice for works to roof without planning permission. Appeal against an enforcement notice	12/07/2023
33	Clifton Down	11 Wellington Park Bristol BS8 2UR Appeal against a High Hedge. Appeal against high hedge	12/07/2023

34	Frome Vale	4 Grangewood Close Bristol BS16 2QN Erection of a detached two storey dwelling with parking facilities. Appeal against refusal Delegated decision	12/07/2023
35	Horfield	Beaufort Multi Storey Car Park Southmead Hospital Southmead Road Bristol BS10 5FN External alterations to the south-western and north-eastern elevations of the Car Park. Appeal against refusal Delegated decision	13/07/2023
36	Stoke Bishop	Pavement South Side Clifton Down South West Of Junction With The Avenue Bristol BS8 3GH Proposed 5G telecoms installation: H3G 17m street pole and additional equipment cabinets. (BRC25452) Appeal against refusal Delegated decision	18/07/2023
37	Bishopsworth	Highways Land Between Church Road And Whitchurch Road Bristol Application to determine if prior approval is required for a proposed: Streetpole style telecommunications mast. Appeal against refusal Delegated decision	19/07/2023
38	Cotham	65 Lower Redland Road Bristol BS6 6SR Application for a lawful development certificate for an existing use as a large HMO (Sui-generis). Appeal against refusal Delegated decision	21/07/2023
39	Stockwood	88 Stockwood Road Stockwood Bristol BS14 8JE Demolition of single storey side conservatory and construction of 2-storey, 2-bed dwelling together with associated works, including rear extension. Appeal against refusal Delegated decision	26/07/2023
40	Hotwells & Harbourside	133 Hotwell Road Bristol BS8 4RU Change of use from Use Class E(b) (Restaurant) to Use Class C3 (Residential : 1 No self-contained maisonette). Appeal against refusal Delegated decision	28/07/2023
41	Hartcliffe & Withywood	301 Bishport Avenue Bristol BS13 0PL Second storey side extension over existing attached garage. Appeal against conditions imposed Delegated decision	01/08/2023

42	Bedminster	43 Ruby Street Bristol BS3 3DX Change of use from a C3 dwelling to a HMO for 7 occupants. Appeal against non-determination	01/08/2023
43	Henbury & Brentry	Vicarage Station Road Henbury Bristol BS10 7QQ Demolition of existing buildings and provision of 14 no. 4 bedroom residential dwellings (Class C3), together with car parking, new vehicular access, communal amenity, landscaping, installation of plant, and other associated works. Appeal against non-determination	03/08/2023
44	Horfield	188 Southmead Road Bristol BS10 5EA Certificate of proposed development for a hip to gable roof extension loft conversion with rear dormer, 3no. front roof lights and associated fenestrations. Appeal against non-determination	09/08/2023
45	Filwood	Land To Rear Of 32 - 36 Somermead Bristol Construction of 2 No. offices with storage. Appeal against refusal Delegated decision	09/08/2023
46	Ashley	163 Gloucester Road Bishopston Bristol BS7 8BE Construction of decking and seating, and canopies over part of the rear garden. Appeal against refusal Delegated decision	09/08/2023
47	Hotwells & Harbourside	33 Poles Wharf Court Bristol BS8 4PB Installation of solar panels on south facing roof slope. Appeal against non-determination	10/08/2023
48	Bedminster	Land Adjacent To Teddies Nurseries Clange Road Bristol BS3 2JX Proposed demolition of existing buildings and erection of replacement building for indoor recreation use (Class E(d)), with associated car parking (resubmission of 21/05474/F). Appeal against refusal Delegated decision	15/08/2023
49	Hengrove & Whitchurch Park	Land Adjacent To 16 Belland Drive & 24 Belland Drive Bristol BS14 0EW Erection of detached dwellinghouse. Appeal against refusal Delegated decision	16/08/2023



50	Cotham	89 High Kingsdown Bristol BS2 8ER Enforcement notice appeal for change of use of property to small hmo use class C4. Appeal against an enforcement notice	18/08/2023
51	Clifton	Second Floor Flat 4 19 York Gardens Bristol BS8 4LN Proposed rear dormer and roof alterations Appeal against non-determination	22/08/2023
52	Avonmouth & Lawrence Weston	48 Station Road Shirehampton Bristol BS11 9TX Demolition of the existing workshop at the end of the rear garden of 48 Station Road and the construction of 2no. three bedroom dwelling houses (3b5p). Appeal against refusal Delegated decision	22/08/2023
53	Brislington East	37 Hollywood Road Bristol BS4 4LD Demolition of an attached garage and the erection of a 1-bed, 2-person, attached dwelling with associated works. Appeal against refusal Delegated decision	24/08/2023

### List of appeal decisions

Item	Ward	Address, description and appeal type	Decision and date decided
54	Brislington West	Wyevale Garden Centre Plc Bath Road Brislington Bristol BS31 2AD Enforcement notice appeal for hardstanding. (C/22/3306445). Appeal against an enforcement notice	Appeal dismissed 07/09/2023
55	Brislington West	Wyevale Garden Centre Plc Bath Road Brislington Bristol BS31 2AD Enforcement notice appeal for builders yard. (C/22/3306441). Appeal against an enforcement notice	Appeal dismissed 07/09/2023
56	Brislington West	Wyevale Garden Centre Plc Bath Road Brislington Bristol BS31 2AD Enforcement notice appeal for bunds & portable buildings. (C/22/3306446). Appeal against an enforcement notice	Appeal dismissed 07/09/2023

57	Brislington West	Wyevale Garden Centre Plc Bath Road Brislington Bristol BS31 2AD Enforcement notice appeal for plant equipment. (C/22/3306444). Appeal against an enforcement notice	07/09/2023
58	Lockleaze	36 Stothard Road Bristol BS7 9XL Enforcement Notice enforcement for the erection of detached building in garden without planning permission. Appeal against an enforcement notice	Appeal dismissed 05/09/2023
59	Stoke Bishop	2 Bramble Drive Bristol BS9 1RE Enforcement notice appeal for front boundary not completed as per plans approved as part of planning permission 21/00431/H and additional planting. Appeal against an enforcement notice	Appeal dismissed 07/09/2023
60	Bedminster	149 West Street Bedminster Bristol BS3 3PN Part change of use from an office to a C3 dwelling unit. Appeal against refusal Delegated decision	Appeal dismissed 06/08/2023
61	Ashley	Dainton Self Storage New Gatton Road Bristol BS2 9SH Proposed 1no. internally illuminated display signboard. Appeal against refusal Delegated decision	Appeal dismissed 02/08/2023
62	Central	2 Clare Street City Centre Bristol BS1 1XR Temporary Static, Illuminated Shroud Advertisement. Appeal against non-determination	Appeal dismissed 17/08/2023
63	Hotwells & Harbourside	2 - 10 Hanover Place Bristol BS1 6XT Window replacement works (all new windows to be uvpc). Appeal against refusal Delegated decision	Appeal dismissed 11/08/2023
64	Westbury-on-Trym & Henleaze	29 Hobhouse Close Bristol BS9 4LZ Retrospective application for retention of dwelling. Appeal against non-determination Committee	Appeal dismissed 11/08/2023

65	Southmead	37 Ullswater Road Bristol BS10 6DH Single storey rear extension and enlarge the existing garden annex building to use as storage, office and WC space. Appeal against refusal Delegated decision	Appeal allowed 03/08/2023
66	Stoke Bishop	The Helios Trust 17 Stoke Hill Bristol BS9 1JN Change of use from doctors surgery to specialist educational needs school for children and therapy centre, and land to residential garden adjacent 19a Pitch and Pay Lane. Appeal against non-determination	Appeal withdrawn 29/08/2023
67	Hengrove & Whitchurch Park	127 East Dundry Road Bristol BS14 0LP Two storey rear and single storey side extension. Appeal against non-determination	Appeal allowed 09/08/2023
68	Bishopsworth	45 Bridgwater Road Bristol BS13 7AX Rear and side dormer roof extensions. Appeal against refusal Delegated decision	Appeal dismissed 25/08/2023
69	Cotham	1 Eastfield Road Cotham Bristol BS6 6AA Proposed extension and alterations to existing end of terrace to form 7 no. 1 bedroom self-contained flats and 1 no. 2 bedroom self-contained flat over 4 floors. Appeal against refusal Delegated decision	Appeal dismissed 25/08/2023
70	St George Central	The Mechanics Arms 123 Clouds Hill Road Bristol BS5 7LH Extension and change of use from public house to six apartments. Appeal against refusal Delegated decision	Appeal dismissed 30/08/2023
71	Eastville	Advertising Displays Bus Shelter (Ref. 1102-0009) In Front Of 567 Fishponds Road Fishponds Bristol BS16 3AF Replace existing double-sided internally illuminated 6-sheet bus shelter advertising displays with double-sided digital displays. Replacement digital displays will portray static advertising images that change every 10 seconds. Appeal against refusal Delegated decision	Appeal allowed 24/08/2023

72	Knowle	<p>Advertising Displays Bus Shelter (1102-0029) Front Of 427 Wells Road Knowle Bristol BS4 2QW</p> <p>Replace existing double-sided internally illuminated 6-sheet bus shelter advertising displays with double-sided digital displays. Replacement digital displays will portray static advertising images that change every 10 seconds.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal allowed</p> <p>24/08/2023</p>
73	Frome Vale	<p>Advertising Displays Bus Shelter (1102-0538) Opposite Morrisons Fishponds Road Fishponds Bristol BS16 3UH</p> <p>Replace existing double-sided bus shelter advertising displays (comprising one digital display and one internally illuminated 6-sheet display) with double-sided digital displays. Replacement digital displays will portray static advertising images that change every 10 seconds.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal allowed</p> <p>24/08/2023</p>
74	Central	<p>Advertising Displays Bus Shelter (1102-0268) Outside Yeamans House Clarence Road Bristol BS1 6PZ</p> <p>Replace existing double-sided internally illuminated 6-sheet bus shelter advertising displays with double-sided digital displays. Replacement digital displays will portray static advertising images that change every 10 seconds.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal allowed</p> <p>24/08/2023</p>

## **DEVELOPMENT CONTROL COMMITTEE A**

### **20 September 2023**

#### **REPORT OF THE DIRECTOR: DEVELOPMENT OF PLACE**

##### **LIST OF ENFORCEMENT NOTICES SERVED**

<b>Item</b>	<b>Ward</b>	<b>Address, description and enforcement type</b>	<b>Date issued</b>
1	Hillfields	274 Lodge Causeway Bristol BS16 3RD Erection of fencing to front Enforcement notice	16/08/2023
2	Westbury-on-Trym & Henleaze	137 Northover Road Bristol BS9 3LG Installation of railings around perimeter of roof (of single storey element). Enforcement notice	16/08/2023

## Development Control 20 September 2023

### Report of the Director: Economy of Place

#### Index

#### Planning Applications

Item	Ward	Officer Recommendation	Application No/Address/Description
1	Eastville	Grant	23/01693/F - 27A Stonebridge Park Bristol BS5 6RP Ancillary accommodation to provide 7 additional bed spaces, in 24 sq mt compact living spaces (Class C2), including improvements to access, provision of cycle storage, landscaping and relocation of bin stores.

index  
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**Development Control – 20 September 2023**

**ITEM NO. 1**

**WARD:** Eastville

**SITE ADDRESS:** 27A Stonebridge Park Bristol BS5 6RP

**APPLICATION NO:** 23/01693/F Full Planning

**DETERMINATION DEADLINE:** 30 June 2023

**Ancillary accommodation to provide 7 additional bed spaces, in 24 sq mt compact living spaces (Class C2), including improvements to access, provision of cycle storage, landscaping and relocation of bin stores.**

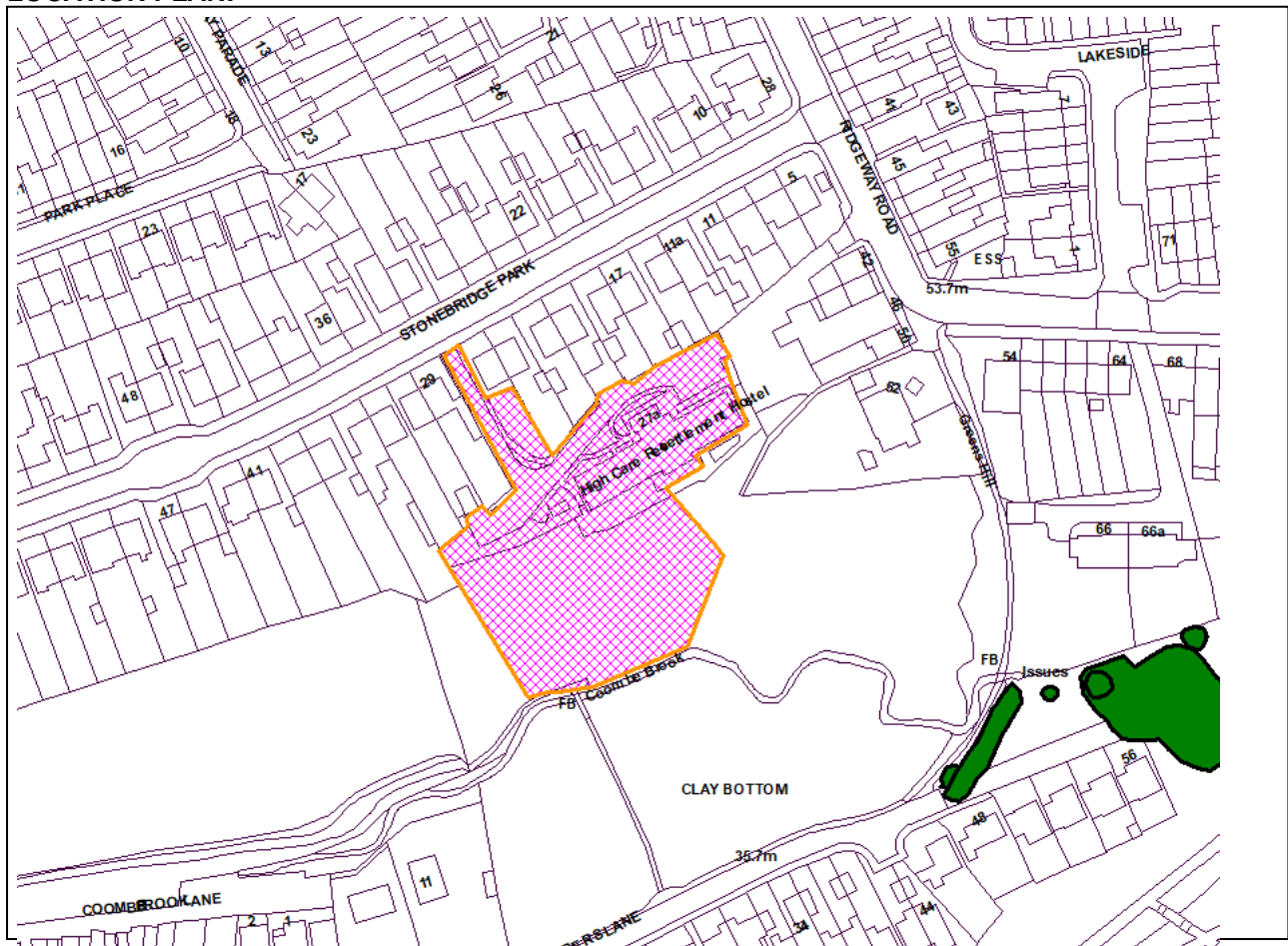
**RECOMMENDATION:** Grant subject to Condition(s)

**AGENT:** Agile Property & Homes  
10 Temple Back  
Bristol  
BS1 6FL

**APPLICANT:** Agile Property & Homes Ltd  
10 Temple Back  
31 Park Street  
Bristol  
BS1 6FL

*The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.*

**LOCATION PLAN:**



**Development Control – 20 September 2023**  
**Application No. 23/01693/F: 27A Stonebridge Park Bristol BS5 6RP**

## SUMMARY

The application is presented to committee due to the number of objections but there is also a request for call in by the local Ward Cllr Francis. They have provided the following reasons-

*I refer this application to committee due to local resident objections, with which I concur. The issues include site access, the impact upon the nearby highways and increased site traffic, both during construction and upon occupation. Ridgeway Road, which is the proposed road for egress to and from the property is a busy and overwhelmed road where residents regularly complain about speeding cars, especially coming off the bend before the T junction of Stonebridge Park as well as HGV 's who use the roads to access yards in Hillfields. This development would increase the risk of accidents and pressure on the residents during construction whilst after construction, car's leaving the site would struggle to be safe. The development is setting a precedent for future build on green land and whilst it is their land, these additional dwellings will only increase the volume of people living behind the established residential homes.'*

The development proposed is the erection of 7 buildings each of 24 sqm to provide additional bed spaces for the existing centre which provides move on accommodation to the homeless (use Class C2).

Officers have assessed the proposal against the Development Plan and while there is conflict with local plan designation (as it involves a section of an area of designated open space) it is concluded that the proposal would be policy compliant in all other aspects of the local plan and material considerations outweigh the impact on the open space.

During the assessment of the application the applicant has made corrections to the redline area – this has necessitated further consultation to ensure no parties are prejudiced by the application. The consultation period for this exercise will conclude after the committee date (21<sup>st</sup> September 2023).

Therefore, members will be requested to delegate any decision taken to officers after completion of the consultation exercise. If further representations are received it may be necessary to bring the application back to DC Committee for further consideration.

## SITE DESCRIPTION AND BACKGROUND

The application site is a section of land adjacent to a two storey building which provides support for people moving on from homeless (C2 use class). The centre is designed to support the recovery of homelessness / rough sleeping / ill health and provide a more rapid transition back into the community.

Places for People (Living Plus) began operating from 27a Stonebridge Park in 2003 and the existing building provides support for 27 residents. There is already a partnership in place between Bristol City Council and Places for People, to assess, plan and deliver supported housing for people with complex needs within the Male Homeless Pathway. This partnership also includes input and support from other services, such as healthcare and probation.

The agent for this proposal who have also been listed as the applicant is Agile Homes. Places for People (Living Plus) have asked Agile to design and construct this scheme to provide a solution that supports the recovery residents.



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Agile homes are a company that specialises in the delivery of MMC (Modern Method of Construction) dwellings, The design and access statement advises that in October 2020, Crisis (charity) set up the Venture Studio to move into investment and help scale innovative solutions that support their vision of ending homelessness. They first invested in just three organisations in the UK, Agile Homes being one of them.

The application site is accessed along a service road and is situated in an area that is dominated by two storey suburban housing. The land behind the building is designated as Important Open Space (titled: Royate Hill Nature Reserve and Greenbank Cemetery).

The land is also located in a High Risk Coal mining area and the section of the land at the bottom of the valley is located in flood zone 3- this does not impact on the location of the proposed buildings.

Places for People also provide support for a small HMO at 27 Stonebridge Park. This is for residents that require less hand on approach and live more independently.

**RELEVANT HISTORY**

96/02750/F: Construction of high care residential accommodation consisting of 20 bedsit units and communal facilities Granted consent 28.02.1997.

98/03401/F: Construction of high care residential accommodation consisting of 20 bedsit units, communal facilities and staff accommodation (amendment to planning permission no.2750F/96E granted 26.2.97).

00/02169/F: Erection of new building for supported housing to contain 22 no. bedsits with communal and ancillary facilities and staff offices. Granted 28.09.2000

17/06740/F: Alterations to the south elevation, to include new and altered window openings, to provide 5 new bedrooms to the existing 22-bedroom hostel. Granted 20.04.2018

22/00490/PREAPP: To provide eight assisted living pods to expand the hostel's accommodation on site. The proposal will be 2 storey with an external access gantry. Closed -01.06.2022.

23/30034/MINOR Enforcement Enquiry- Case closed on 9<sup>th</sup> March 2023. A complaint was received regarding the clearance of vegetation and trees from the development site. The case was closed as no permission is required for the works as the site is not in a conservation area or has any TPO protection.

**APPLICATION**

Permission is sought for Ancillary accommodation to provide 7 additional bed spaces, in 24 sq mt compact living spaces (Class C2), including improvements to access, provision of cycle storage, landscaping and relocation of bin stores.

Each building will be of single storey and consist of their own kitchenette, living space / bedroom and bathroom.

The materials used in the construction are predominantly timber. Screw piles, rather than traditional concrete foundations will be used to support the buildings.

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Each building will have heat pumps to provide electricity and the applicant has advised that the air tightness of the building and insulation will mean that no space heating will be required (Initially it was proposed to use electric panel heaters)

The application includes the following documents:

Planning Statement  
Statement of community Involvement  
Transport statement  
Ecological Appraisal  
BNG assessment  
Arboricultural assessment  
Premises management plan  
Drainage strategy  
Energy strategy

While not a requirement for this size of planning application (being a minor) the applicant carried out community consultation and has submitted a Community Involvement Statement. The main concerns raised by interested neighbours was the proposed client group and additional number of clients on site and the impact on the local community.

#### RESPONSE TO PUBLICITY AND CONSULTATION

Neighbouring properties were consulted by letter a total of 53 objections were received with 4 comments making neutral representations.

The following planning issues were raised (Please note that this is only a summary of the representations, and the full objections can be found on the public access website)-

Proposal will result in an increase in crime in the area.

Increase in anti social behaviour

Neighbours' opinions of the poor management of the existing facility

Increased noise impact on properties adjacent to the site.

Noise impact to houses south of the site.

Area has a high level of homeless facilities

Increase in traffic

Impact on wildlife and open space

Impact on trees

Increase pressure on existing infrastructure

Insufficient cycle storage.

Visual impact on character of the area (bin storage)  
Potential for poor management of BNG requirements

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Neutral comments-

Understand the need for the type of accommodation.

No notification of property at the bottom of the hill.

Access is required to garage to rear of 31 Stonebridge Park

During the assessment of the application the Local Planning Authority have had to reconsult following changes to the redline area and revisions to the Ownership certificate. The application is currently still out for consultation with an expiry date for comments of the 21<sup>st</sup> September 2023.

**Ward Members:**

Cllr Francis made the following comments and called in the application-

I refer this application to committee due to local resident objections, with which I concur. The issues include site access, the impact upon the nearby highways and increased site traffic, both during construction and upon occupation. Ridgeway Road, which is the proposed road for egress to and from the property is a busy and overwhelmed road where residents regularly complain about speeding cars, especially coming off the bend before the T junction of Stonebridge Park as well as HGV 's who use the roads to access yards in Hillfields. This development would increase the risk of accidents and pressure on the residents during construction whilst after construction, car's leaving the site would struggle to be safe. The development is setting a precedent for future build on green land and whilst it is their land, these additional dwellings will only increase the volume of people living behind the established residential homes.

OTHER COMMENTS (summary of comments- full comments on public access)

**Housing Delivery team** has commented as follows:-

The Housing and Enabling team can confirm that we are in support of the scheme proposed by Places for People and which have been designed for people who have experienced homelessness and are moving forwards independent living. The provision will promote independent living for this cohort of people.

The Council's planning policies for affordable housing in Bristol are set out in Policy BCS17: Affordable Housing Provision in the Core Strategy Local Plan (Adopted June 2011), and Policy DM3: Affordable Housing Provision: Smaller Sites in the Site Allocations and Development Management Policies Local Plan (Adopted July 2014). Further guidance on the Council's affordable housing policies is set out in the Affordable Housing Practice Note 2018 (AHPN).

The proposal complies with and helps deliver the NPPF (paras 8 & 62), Policies BCS5 and BCS18 of the Core Strategy (2011) and Policies DM1 and DM14 of the Site Allocations and Development Management Policies (July 2014)

**Crime Prevention Design Advisor** has commented as follows-

No objection. Previously submitted Pre- Application comments and having read the supporting documents. I am happy that the applicant has paid due regard to Designing out Crime. I would be happy to discuss further the potential for achieving the Secured By Design, Developers Award, should the applicant seek to apply.

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**Pollution Control Officer** has commented as follows-

No objections

**Highways Development Management Officer** has commented as follows-

Comments covered in the key issue section of the report.

**Coal Authority** has commented as follows-

The Coal Authority considers that the content and conclusions of the supporting Coal Mining Risk Assessment are sufficient for the purposes of the planning system in Protecting the public and the environment in mining areas demonstrating that the application site is safe and stable. The Coal Authority therefore has no objection to the proposed development.

#### EQUALITY ASSESSMENT

During the determination of this application due regard has been given to the impact of this scheme in relation to the Equality Act 2010 in terms of its impact upon key equalities protected characteristics. These characteristics are age, disability, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sex and sexual orientation. There is no indication or evidence (including from consultation with relevant groups) that different groups have or would have different needs, experiences, issues and priorities in relation this particular proposed development. Overall, it is considered that this application would not have any significant adverse impact upon different groups or implications for the Equality Act 2010.

The proposal will provide important accommodation for a vulnerable group of society and representations and concerns from all third parties have been considered in determining the application.

#### RELEVANT POLICIES

National Planning Policy Framework – July 2021  
Bristol Local Plan comprising Core Strategy (Adopted June 2011), Site Allocations and Development Management Policies (Adopted July 2014) and (as appropriate) the Bristol Central Area Plan (Adopted March 2015) and (as appropriate) the Old Market Quarter Neighbourhood Development Plan 2016 and Lawrence Weston Neighbourhood Development Plan 2017 and the Hengrove and Whitchurch Park Neighbourhood Development Plan 2019.

In determining this application, the Local Planning Authority has had regard to all relevant policies of the Bristol Local Plan and relevant guidance.

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KEY ISSUES

A) IS THE PRINCIPLE OF DEVELOPMENT ACCEPTABLE?

*Important open space*

The buildings will be located on land that is allocated as important open space. Policy DM17 states that 'development on part, or all, of an Important Open Space as designated on the Policies Map will not be permitted unless the development is ancillary to the open space use.'

The new buildings will sit on a small area of the designation, therefore the proposal is contrary to this local plan policy, so this negative element of the proposal must be weighed against the other issues outlined in this report.

*Specialist Housing*

Policy BCS5 of the Bristol Core Strategy sets a target for the delivery of 30,600 new homes within Bristol between 2006 and 2026.

Policy BCS20 states that development should maximise opportunities to re-use previously developed land. Policy BCS17 sets a target for the provision of 6,650 affordable homes by 2026.

As background to the current housing crisis, it is understood that Bristol has approximately 19,000 households on its social housing waiting list as well as more than 1,200 households in temporary Accommodation.

Policy DM2 refers to "other forms of shared housing and specialist housing" and the principles can be applied to the development proposed. It requires that such development will not be permitted where it harms the residential amenity or character of the locality when assessed against a number of criteria, including levels of activity and on-street parking. The policy also requires that development does not contribute to a harmful concentration of such uses within a locality, by exacerbating existing harmful conditions (such as noise/disturbance or parking) or by reducing the choice of homes in the area by changing the housing mix.

The consideration to the impact on the area by virtue of noise and parking is considered under the amenity and highways section of this report.

B) DESIGN

Policy BCS21 advocates that new development should deliver high quality urban design that contributes positively to an area's character and identity, whilst safeguarding the amenity of existing development. Policies DM26-29 (inclusive) of the Site Allocations & Development Management Policies require development to contribute to the character of an area through its layout, form, public realm and building design.

The design of the new buildings will be very modern in appearance but not of an excessive scale which would result in the buildings having a significant impact on the overriding character of the area, which is currently dominated by typical suburban two storey housing.

The single storey nature of the development ensures that the height of proposed buildings is lower than the existing premises with minimal impact on the skyline as can be seen on the submitted verified views (north and south).

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The existing bin store is to be relocated to enable space to be provided for the new buildings. The proposed bin store location along the access road will be similar in appearance to the single storey timber extension to the other side of the access lane. This element of the scheme would also be visually acceptable.

The proposal is considered to comply with policies BCS21 of the Core Strategy (2011) and Policies DM26- 29 of the Site Allocations and Development Management Policies (July 2014).

### C) RESIDENTIAL AMENITY

Policy BCS21 expects development to safeguard the amenity of existing development and create a high quality environment for future occupiers. Policy DM2 requires development to provide a good standard of accommodation by meeting relevant requirements and standards and not adversely impacting neighbouring amenity by virtue of noise and disturbance and parking. Policy DM30 expects alterations to existing buildings to safeguard the amenity of the host premises and neighbouring occupiers. Policy BCS23 expresses that development should be designed and sited in such a way to avoid adversely impacting upon environmental amenity, including in relation to noise. Policy DM35 expects development to safeguard surrounding uses from noise, as well as providing mitigation where necessary to ensure that proposed development is safeguarded from existing noise sources.

#### a) Existing residential amenity

The application is supported a premises management plan, which provides advice to tenants for being good neighbours and sets out expectations and procedural matters, including in relation to complaints procedures and actions to be linked with clauses within tenancy agreements. The service is staffed 24/7, with a dedicated team and two managers.

The number of staff will be increased from 10 to 12. The management plan states that Places for People has a 'very strict approach to Anti social behaviour, drug dealing and violence, all of which are dealt with immediately and result in the resident leaving the service'

The BCC Pollution Control Officer has confirmed that they have no objection.

The scale and positioning of the single-storey extension buildings would not result in an overbearing impact on surrounding properties and will be of sufficient distance from neighbouring dwellings to not create a significant impact in terms of overlooking of loss of privacy.

#### b) Future occupiers of the units

There is no dedicated space standard for C2 use therefore it is not possible to assess space standards attributed to C3 dwellinghouses against this proposal. It is also noted that residents have access to shared facilities in the main building. No objections are raised to the standard of accommodation.

Subject to a condition requiring the implementation of the management plan, the proposal would not result in a significant impact on neighbouring amenity.

### D) SAFETY AND SECURITY

Paragraph 92(b) of the NPPF (2021) states that planning policies and decisions should aim to achieve healthy, inclusive and safe places which are safe and accessible, so that crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion. Local plan policies BCS21, DM27, DM29 include consideration of safety and security. Fear of crime is therefore a material

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consideration in planning decisions, although the weight that can be given to it is often limited unless there is significant evidence to show that the increased fear of crime would actually occur.

A significant number of objections have raised concern of the expansion of facilities in particular the concerns of increased crime and anti-social behaviour.

The Police were consulted in relation to the proposal. As can be seen within the consultation responses above, the Police Crime Reduction Officer has not objected to the proposed development and is satisfied that the applicant has paid due regard to Designing out Crime. It is noted that the premises has operational CCTV, the service is staffed 24/7, with a dedicated team and two managers and staffing will be increased from 10 to 12. This is all set out in the submitted premises management plan.

It is considered that the implementation of the management plan and the increase in on staff support will assist in ensuring that issues raised on and off the premises can be managed. It is considered reasonable that implementation of the management plan will be secured by condition in perpetuity.

It is acknowledged that there is significant local concern with the expansion of accommodation, subject to conditions, it is considered that the proposal would address matters of safety and security.

**E) HIGHWAY SAFETY**

Core Strategy policy BCS10 sets out a transport hierarchy for the design of developments, and expresses that development should be located where sustainable travel patterns can be achieved; should minimise the need to travel; and maximise opportunities for the use of walking, cycling and public transport. It is also expressed that developments should be designed and located to ensure the provision of safe streets.

Policy DM23 expresses that development should not give rise to unacceptable traffic conditions and will be expected to provide safe and adequate access onto the highway network; adequate access to public transport; transport improvements where necessary; adequate provision for pedestrians and cyclists. The policy also requires the provision of adequate servicing facilities, and safe accessible and usable parking in accordance with the parking standards schedule. Policy DM32 requires adequate refuse and recycling provision in new development.

During the assessment of the application the applicant has provided revised plans to address the following points raised by the Highway Development Management officer-

- a revised General arrangement plan showing the proposed works to resurface the adopted footway/vehicle crossover and widen and provide a dropped kerb for refuse collection on the unadopted footway;
- a revised plan showing the proposed changes to the existing on-site lighting system;
- revised plans and designs for cycle storage; and
- revised plans and designs for refuse storage

**Access-**

The applicant has provided a revised site layout plan (no. P-302-3-011\_Rev\_C) indicating a number of changes::

- resurfacing of the existing vehicle crossover at the junction with Stonebridge Park;
- replacement of most existing bollards along the unadopted access roadway with pavement uplighters;
- widening to 2m of the footway adjacent to the proposed bin store;
- a dropped kerb adjacent to the proposed bin store to enable access by refuse collection crews;

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The Highway officer also notes that, where dropped kerbs are to be provided at the pedestrian crossing within the site, tactile paving should also be provided as indicated on the previous iteration of the proposed site layout plan. The applicant must drop/remove the existing 125mm upstand bellmouth kerb at the Northern end of the unadopted footway adjacent to the adopted highway. Under a Section 171 Licence, the applicant is also required to resurface the footway/vehicle crossover giving access to the site.

The proposal is unlikely to give rise to any significant traffic issues due to the nature of the use and the site is located in a sustainable location – approximately 15 minutes' walk to the designated centre along Fishponds Road and within walking distance of a number of bus stops.

The local Ward Councillor raised concerns with construction traffic, and this can be addressed by the use of a typical Construction Management Plan condition.

Following the submission of these revised plans and subject to the conditions listed at the end of this report, the Highway officers are satisfied that the proposal would not raise any highway safety issues.

#### *Cycle storage*

Following discussions with the highway officer - the applicant proposes to provide 11x Sheffield stands (22x spaces) at the site, including 4x stands located directly in front of the existing main building, and 7x at the far Eastern end of the car park. The details of this storage shall be secured by condition.

Subject to conditions no significant highway issues are raised.

#### F) SUSTAINABILITY & FLOOD RISK

Policies BCS13, BCS14, BCS15 and BCS16 of the adopted Core Strategy give guidance on sustainability standards to be achieved in any development, and what measures to be included to ensure that development meets the climate change goals of the development plan.

This should be achieved, amongst other measures, through efficient building design, the provision of on-site renewable energy generation to reduce carbon dioxide emissions by at least 20% based on the projected residual energy demand of new buildings and extensions to existing buildings, and for new development to mitigate against the risk of flooding.

The applicant promotes the proposed buildings as ones that will be constructed from what they call 'bio based' materials such as timber and straw. They advised that the units will be built to Future Homes Standard 2025 and will have a minimum 60 year design life.

In terms of the requirements of the Local Plan, the development proposes air source heat pumps but originally this was only to serve the hot water requirements and heating would have been provided by electric radiators which is contrary to the heat hierarchy set out in the Bristol Local Plan.

After negotiation the applicants have altered the proposed heating system arrangements and have advised that no heating will be required due to the compact nature of the units. The units are to be well insulated and triple glazed which the applicant has advised will address any needs for space heating.

The air source heat pump system will also ensure that at least a 20 % saving will be made on residual energy uses which is compliant with the Local Plan.



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Following submission of a revised drainage strategy the Flood Risk Team have advised that they have no objections with the principle subject to a condition to secure further details prior to commencement of work.

The development is considered to be compliant with policies BCS13,14,15,16.

#### G) ECOLOGY

The NPPF (Paragraph 170) sets out that planning decisions should seek to enhance the local and natural environment by protecting and enhancing valued sites of biodiversity value.

Policy BCS9 seeks to ensure that the integrity and connectivity of the green infrastructure network is maintained/ enhanced. The loss of green infrastructure should only be allowed where it is necessary.

Policy DM19 sets out that development likely to impact on habitat, species or features, which contribute to nature conservation in Bristol will be expected to be informed by an appropriate survey/ assessment of impacts, be designed/ sited in so far as practically and viably possible, to avoid any harm to habitats, species and features of importance.

The site is located in the the Clay Bottom and Royate Hill Allotments Wildlife Corridor, part of the Bristol wildlife network. The site is within the West of England Nature Partnership (WENP) Nature Recovery Network, within the woodland network.

The Ecological Appraisal (Quantock Ecology, April 2023) appropriately describes the ecological features of the site and mitigation required.

The proposed design will involve the loss of a strip of bramble scrub and trees on the northern edge of the site where the units will be placed.

The Biodiversity Net Gain (BNG) Assessment (Quantock Ecology, August 2023) calculates a 21% net gain in area habitat units. The main enhancements to the site include the enhancement of a small area of bramble scrub and an area of bracken into mixed scrub and the planting of trees on site.

The City ecologist has reviewed the assessment and has raised no objections and recommended conditions for an Ecological mitigation and Enhancement strategy, lighting plan, CEMP, landscape plan and a Landscape and Ecological Management Plan.

Subject to these conditions the proposal will address the ecological policies of the local plan.

#### H) TREES

It is noted that vegetation clearance had occurred prior to the submission of the planning application (which doesn't require any consent from the LPA) and the trees which were removed are taken into consideration within the supporting arboricultural statement. This sets out that 2 trees and a number of multi stemmed smaller trees will need to be removed to accommodate the development.

T1 and T2 are single stemmed trees. G3 is a multi stemmed group of shrubs and self-seeded immature / small trees. W2 is the overgrown area of shrubs / brambles / small tree on the side of the valley.

The statement advises that there will be an incursion into the theoretical rooting zone of G6 (see relevant statement) and the trees are young and resilient, and the impact therefore would be negligible. Protective fencing and anti-compaction ground mats are proposed to be used to protect

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G6. The use of driven or screw piles foundations would be the best and most acceptable option and should negate any current and future issues from tree root action.

The proposed tree removal will require a total of 51 trees to be replanted in accordance with the Bristol Tree Replacement standard. Additional trees for a total of at least 56 trees would be needed to assist in the delivery of biodiversity net gain.

The report concludes that 100 saplings could be accommodated on the hillside due to the size of the area. Therefore, to ensure compliance with BNG net gain and the tree replacement standard a condition would be attached to the permission which requires a minimum of 56 trees to be planted.

The information has been reviewed by a Tree officer and they have raised no objections to the proposal subject to appropriately worded conditions which can be found at the end of this report.

### I) PLANNING BALANCE AND CONCLUSION

The new buildings will be partially located on land that is allocated as Important Open Space. Policies BCS9 seeks to protect open spaces and policy DM17 resists the development of Important Open Space unless it is ancillary to the open space use. As the proposal is not ancillary to the open space the proposal is contrary to policy BCS9 & DM17.

Whilst the proposed residential element of the development does not comply with policies BCS9 and DM17, the development accords with policy BCS5, which addresses the level of new homes to be developed in Bristol between 2006 and 2026. The proposal would help to address the Council's lack of a five year housing land supply, which is currently 2.45 years. Substantial weight should be attributed to the social benefit that would result from the proposal's housing contribution, especially in the context of the current shortfall of housing land supply and the type of accommodation which is being proposed.

The scale and design of the development would not have a significant visual impact on the area, the overall appearance/design of the buildings are considered to be satisfactory. It is considered there is no conflict with the design policies of the Local Plan.

The development will result in at least a 20% saving on residual energy use as required by policy. It is also noted that the development proposes more sustainable methods of construction which is another positive aspect. The development will be compliant with BCS13, 14, 15, 16.

A significant number of representations have raised concerns with the potential behaviour of occupiers of the facility and it is considered that the use of a management plan and the increase in staff at the premises will assist in addressing these concerns. The fear of crime is a material consideration, but no significant evidence has been presented that an increase in bedspaces would significantly worsen the relationship of the existing facility with the area and no objections have been raised by the police on these grounds, therefore it is considered only limited weight can be given to this issue.

In accordance with paragraph 11d.ii of the NPPF, the LPA has considered the policies in the NPPF taken as a whole, considering those that weigh against the development as well as those that weigh in favour of it. The development will result in a slight adverse impact, (on part of the open space). However, when assessed against the policies in the NPPF and the Development Plan taken as a whole, the weight associated with the proposal's adverse impacts fails to outweigh the benefits of granting permission significantly and demonstrably. Paragraph 11d.ii is therefore not satisfied, meaning the presumption in favour of sustainable development applies and represents a key material consideration in the planning balance required by section 38(6) of the Planning and Compulsory Purchase Act 2004.

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Therefore, officers are recommending the application for approval and requesting delegated powers to issue the decision following completion of the further consultation and subject to there being no further significant objections raised.

**RECOMMENDED:** Members delegate authority to officers to **Grant** planning permission subject to the following conditions after the public consultation period has expired and if no further significant objections are raised.

Time limit for commencement of development

1. Full Planning Permission

The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

Pre commencement condition(s)

2. Implementation/Installation of a resurfaced footway and level pedestrian accessway:

No building or use hereby permitted shall be occupied or the use commenced until the following highway works have been completed:

- Resurfacing of the adopted vehicle crossover adjacent to the site's boundary with Stonebridge Park;
- Sections of kerb to be dropped to create an accessible pedestrian accessway to the site from Stonebridge Park;

Reason: The implementation of the development without a resurfaced footway and level pedestrian accessway would result in an unacceptable scheme which would be detrimental to the amenity of public use of the footway and to the general character of the area.

3. Further details of Cycle Parking Provision before occupation:

No building or use hereby permitted shall be occupied or use commenced until detailed designs of the following have been submitted to and approved in writing by the Local Planning Authority:

- The intended location, dimensions, layout, and capacity of cycle storage for 22x cycles, using the preferred 'Sheffield stand' design or metal cycle lockers, in compliance with the Council's Guidance on Cycle Storage.

The detail thereby approved shall be carried out in accordance with that approval, and thereafter be kept free of obstruction and available only for the parking of cycles.

Reason: To ensure the provision and availability of adequate cycle parking.

4. Sustainable Drainage System (SuDS)

No development shall take place until a Sustainable Drainage Strategy and associated detailed design, management and maintenance plan of surface water drainage for the site using SuDS methods has been submitted to and approved in writing by the Local Planning Authority. The approved drainage system shall be implemented in accordance with the approved Sustainable Drainage Strategy prior to the use of the building commencing and maintained thereafter for the lifetime of the development.

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Reason: To prevent the increased risk of flooding by ensuring the provision of a satisfactory means of surface water disposal is incorporated into the design and the build and that the principles of sustainable drainage are incorporated into this proposal and maintained for the lifetime of the proposal.

5. Construction Management Plan

No development shall take place, including any demolition works, until a construction management plan or construction method statement has been submitted to and approved in writing by the Local Planning Authority. The approved plan/statement shall be adhered to throughout the demolition/construction period. The plan/statement shall provide for:

- o 24 hour emergency contact number;
- o Hours of operation;
- o Parking of vehicle of site operatives and visitors (including measures taken to ensure satisfactory access and movement for existing occupiers of neighbouring properties during construction);
- o Routes for construction traffic;
- o Locations for loading/unloading and storage of plant, waste and construction materials;
- o Method of preventing mud being carried onto the highway;
- o Measures to protect vulnerable road users (cyclists and pedestrians)
- o Any necessary temporary traffic management measures;
- o Arrangements for turning vehicles;
- o Arrangements to receive abnormal loads or unusually large vehicles;
- o Methods of communicating the Construction Management Plan to staff, visitors and neighbouring residents and businesses.

Reason: In the interests of safe operation of the adopted highway in the lead into development both during the demolition and construction phase of the development.

6. Prior to commencement of the development hereby approved, the applicant shall submit a standalone Construction Environmental Management Plan (CEMP) . This shall include measures to comply in full with the recommendations made in the Ecological Appraisal (Quantock Ecology, April 2023), i.e to avoid offences against legally protected and priority species and habitats during construction, including site clearance and demolition. Provision shall be made within the CEMP for the appointment of an Ecological Clerk of Works (ECoW) to undertake site visits and to supervise ecologically sensitive operations.

Where considered to be required by the project ecologist, the CEMP shall be supplemented by a Method Statement for a Preliminary Method of Working (MS-PMW) to avoid accidental harm being caused to any protected, priority or notable habitats or species.

The development shall be carried out in full accordance with the approved details or any amendments agreed in writing by Bristol City Council.

Reason: To demonstrate compliance with: the 1981 Wildlife & Countryside Act (as amended); the 1996 Wild Mammals Protection Act; the 2017 Habitats Regulations; the 2006 NERC Act; the 2006 Animal Welfare Act; and the 1992 Protection of Badgers Act

7. Ecological Mitigation & Enhancement Strategy (EMES)

Prior to the commencement of the development hereby approved the applicant shall submit an Ecological Mitigation & Enhancement Strategy (EMES). This shall include details of the provision of 5No bird, 4No bat, 5No insect and 2No hedgehog\* boxes evenly distributed across the site (including on existing trees where possible). The bird boxes should include bricks or tiles for swift and house

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sparrow. The location, specification, height and orientation of these features shall be shown on a site plan.

The development shall be carried out in full accordance with the approved details or any amendments agreed in writing by Bristol City Council.

Reason: (1) The Natural Environment and Rural Communities (NERC) Act 2006 (Section 40) obliges the LPA '... in exercising its functions, [to] have regard, so far as is consistent with the proper exercise of those functions, to the purpose of conserving biodiversity'. In order to discharge its biodiversity duty, the LPA must satisfy itself that all developments deliver ecological enhancement wherever reasonably possible; (2) Ecological enhancement is a requirement of the revised National Planning Policy Framework (2021) which states (in paragraph 174) that 'Planning policies and decisions should contribute to and enhance the natural and local environment...'.

8. Protection of Retained Trees during the Construction Period

No work of any kind shall take place on the site until the protective barriers have been erected around the retained trees, in the position and to the specification shown on the Tree Protection Plan .Once installed photos should be electronically sent to the Local Authority Case Officer, to be verified in writing by the Tree Officer. The Local Planning Authority shall be given not less than two weeks prior written notice by the developer of the commencement of works on the site in order that the council may verify in writing that the approved tree protection measures are in place when the work commences. The approved fence(s) shall be in place before any equipment, machinery or materials are brought on to the site for the purposes of the development and shall be maintained until all equipment, machinery and surplus materials have been removed from the site. Within the fenced area(s) there shall be no scaffolding, no stockpiling of any materials or soil, no machinery or other equipment parked or operated, no traffic over the root system, no changes to the soil level, no excavation of trenches, no site huts, no fires lit, no dumping of toxic chemicals and no retained trees shall be used for winching purposes. If any retained tree is removed, uprooted or destroyed or dies, another tree shall be planted at the same place and that tree shall be of such size and species, and shall be planted at such time, as may be specified in writing by the council.

Under no circumstances should the tree protection be moved during the period of the development and until all works are completed and all materials and machinery are removed. Landscaping works within protected areas is to be agreed with the Local Planning Authority and carried out when all other construction and landscaping works are complete.

Reason: To protect the retained trees from damage during construction, including all ground works and works that may be required by other conditions, and in recognition of the contribution which the retained tree(s) give(s) and will continue to give to the amenity of the area in line with Policy DM17.

9. Arboricultural method statement & Tree protection plan

Prior to the commencement of the development hereby approved (including demolition and all preparatory work), a scheme for the protection of retained trees, in accordance with BS5837:2012, including a tree protection plan (TPP) and an arboricultural method statement (AMS) shall be submitted to and approved in writing by the Local Planning Authority.

Specific issues to be dealt with in the TPP and AMS:

- a) Location and installation of services/ utilities/ drainage.
- b) Methods of demolition within the root protection area (RPA as defined in BS5837: 2012) of the retained trees.
- c) Details of construction within the RPA or that may impact on the retained trees.
- d) A full specification for the installation of boundary treatment works.
- e) A full specification for the construction of any roads, parking areas and driveways, including details of the no-dig specification and extent of the areas of the road, parking areas and driveways to

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be constructed using a no-dig specification. Details shall include relevant cross sections through them.

- f) Detailed levels and cross-sections to show that the raised levels of surfacing, where the installation of a no-dig surfacing within Root Protection Areas is proposed, demonstrating that they can be accommodated where they meet with any adjacent building damp proof courses.
- g) A specification for protective fencing to safeguard trees during both demolition and construction phases and a plan indicating the alignment of the protective fencing.
- h) A specification for scaffolding and ground protection within tree protection zones.
- i) Tree protection during construction on a TPP and construction activities clearly identified as a prohibited in this area.
- j) Details of site access, temporary parking, on site welfare facilities, loading, unloading and storage of equipment, materials, fuels and waste as well as concrete mixing and use of fires.
- k) Boundary treatments within the RPA.
- l) Methodology and detailed assessment of root pruning.
- m) Arboricultural supervision and inspection by a suitably qualified tree specialist.
- n) Reporting of inspection and supervision.
- o) Methods to improve the rooting environment for retained and proposed trees and landscaping.
- p) Veteran and ancient tree protection and management.

The development thereafter shall be implemented in strict accordance with approved details.

Reason: Required prior to commencement of development to satisfy the Local Planning Authority that the trees to be retained will not be damaged during demolition or construction and to protect and enhance the appearance and character of the site and locality, in accordance with DM17 and pursuant to section 197 of the Town and country planning Act 1990.

Pre occupation condition(s)

10. No building or use hereby permitted shall be occupied or the use commenced until the applicant submits a 30-year Landscape and Ecological Management Plan (LEMP). This should address retained features of ecological interest, together with mitigation and enhancements to be provided. The LEMP should set out how proposed habitats will be managed to reach their target condition with management compartments, objectives, and prescriptions for all new proposed soft landscaping/planting to demonstrate how all habitats will be managed to their target condition (as specified in the BNGA). It should also show how management of the site will be resourced and monitored.

Reason: Ecological enhancement is needed to meet the requirements of the revised National Planning Policy Framework (NPPF, 2021). The NPPF states in paragraph 174 (d) on page 50 that "Planning policies and decisions should contribute to and enhance the natural and local environment by... minimising impacts on and providing net gains for biodiversity...". And, the Environment Act (2021) requires habitats to be maintained for 30 years after development is completed (schedule 7A, Part 1, paragraph 9) to secure net gains for biodiversity.

11. Submission and Approval of Landscaping Scheme

No building or use hereby permitted shall be occupied or the use commenced until there has been submitted to and approved in writing by the Local Planning Authority a scheme of soft landscaping, which shall include indications of all existing trees and hedgerows on the land, and details of any to be retained, together with measures for their protection, in the course of development. The approved scheme shall be implemented so that planting is carried out no later than the first planting season following the occupation of the building(s) or the completion of the development whichever is the sooner. All planted materials shall be maintained for five years and any trees or plants removed, dying, being damaged or becoming diseased within that period shall be replaced in the next planting

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season with others of similar size and species to those originally required to be planted unless the council gives written consent to any variation.

Replacement planting, in line with Bristol Tree Replacement Standard (Policy DM17), should be illustrated on a landscaping plan, which includes:

- a) a scaled plan showing vegetation to be retained and trees and plants to be planted:
- b) proposed hardstanding and boundary treatment:
- c) a schedule detailing sizes and numbers of all proposed trees/plants
- d) Sufficient aftercare advice to ensure successful establishment and survival of new planting.
- e) minimum of 56 trees

The planting shall be carried out no later than during the first planting season following the date when the development hereby permitted is ready for occupation or in accordance with a program, details of which shall be submitted to and agreed in writing by the local planning authority.

Reason: To protect and enhance the character of the site and the area, and to ensure its appearance is satisfactory.

**12. Implementation/Installation of Refuse Storage and Recycling Facilities – Shown on Approved Plans**

No building or use hereby permitted shall be occupied or use commenced until the refuse store and area/facilities allocated for storing of recyclable materials, as shown on the approved plans have been completed in accordance with the approved plans.

Thereafter, all refuse and recyclable materials associated with the development shall either be stored within this dedicated store/area, as shown on the approved plans, or internally within the building(s) that form part of the application site. No refuse or recycling material shall be stored or placed for collection on the adopted highway (including the footway), except on the day of collection.

Reason: To safeguard the amenity of the occupiers of adjoining premises; protect the general environment; prevent any obstruction to pedestrian movement and to ensure that there are adequate facilities for the storage and recycling of recoverable materials.

**13. lighting provision within the site**

No building or use hereby permitted shall be occupied or use commenced until detailed designs of the following have been submitted to and approved in writing by the Local Planning Authority:

- A system of external lighting in the publicly accessible areas within the site;
- The results of a lighting assessment undertaken in accordance with Guidance Note 1 for the Reduction of Obtrusive Light (2020).

This shall include a lux level contour plan, and shall seek to ensure no light spill outside of the site boundaries. see relevant advice note.

The lux contour plan shall show lux levels at frequent intervals (lux levels at 0, 0.2, 0.5, 1, 1.5, 2, 3, 4, 5 lux and higher are particularly useful) and extend outwards to additional levels (above the pre-existing background light level) of zero lux. The lux contour levels shall be superimposed on a site plan which includes all land that is affected by raised light levels (including potentially land outside the red line planning application area) and shall reflect the use of any proposed mitigation, e.g visors.

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Reason: To ensure a high level of perceived and real safety within the site and to safeguard the amenity of the occupiers of adjoining premises. To conserve legally protected bats and other nocturnal wildlife complying with the 1981 Wildlife & Countryside Act (as amended) and to ensure that no significant increase in lighting impacts the Clay Bottom and Royate Hill Allotments Wildlife Corridor.

## Post occupation management

14. The development shall be occupied in accordance with the submitted and approved Premises management Plan.

Reason: To ensure the facilities are operated appropriately

15. Travel Plan Statement - Submitted

The Travel Plan Statement hereby approved shall be implemented in accordance with the measures set out therein.

Within three months of occupation, evidence of the implementation of the measures set out in Travel Plan Statement shall be prepared, submitted to and agreed in writing with the Local Planning Authority unless alternative timescales are agreed in writing.

Reason: To support sustainable transport objectives including a reduction in single occupancy car journeys and the increased use of public transport, walking and cycling.

## List of approved plans

16. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

8930/02A Engineering layout, received 22 August 2023  
 8930/05 Private construction details, received 22 August 2023  
 Hydro brake flow control tech, received 22 August 2023  
 Attenuation tank details, received 22 August 2023  
 P302-3-001c Location plan, received 30 August 2023  
 P302-3-020b Existing site plan, received 30 August 2023  
 P302-3-021b Proposed site plan, received 30 August 2023  
 P302-3-010b Existing layout plan, received 30 August 2023  
 P302-3-011c Proposed site layout plan, received 30 August 2023  
 P302-3-030 Proposed roof plan, received 5 May 2023  
 P302-3-100 Proposed ga plan type 1, received 5 May 2023  
 P302-3-302 Existing and proposed south elevation, received 5 May 2023  
 P302-3-101 Proposed ga plan - type 2, received 5 May 2023  
 P302-3-300 Existing and proposed north elevation, received 5 May 2023  
 P302-3-301 Existing and proposed east elevation, received 5 May 2023  
 P302-3-303 Existing and proposed west elevation, received 5 May 2023  
 P302-3-250 Site 1 section, received 5 May 2023  
 P302-3-251 Site 2 section, received 5 May 2023  
 P-302-3-260 Site section 1, received 5 May 2023  
 221007\_LSA\_100 GA soft landscaping plan, received 5 May 2023  
 221007(P01) Tree pit, received 5 May 2023  
 P302-3-530 Waste storage, received 5 May 2023



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Reason: For the avoidance of doubt.

Advices

1 Any use of the dwelling as private rented accommodation may require a separate license. It is an offence to operate a licensable property without a licence. Please contact the Private Housing Team on 0117 352 5010 for further information.

2 Excavation Works on the Adopted Highway

The development hereby approved includes the carrying out of excavation works on the adopted highway. You are advised that before undertaking any work on the adopted highway you will require a Section 171 (Excavation) Licence from the Highway Authority which is available at [www.bristol.gov.uk/highwaylicences](http://www.bristol.gov.uk/highwaylicences)

3 Street Name and Numbering

You are advised that to ensure that all new properties and streets are registered with the emergency services, Land Registry, National Street Gazetteer and National Land and Property Gazetteer to enable them to be serviced and allow the occupants access to amenities including but not limited to; listing on the Electoral Register, delivery services, and a registered address on utility companies databases, details of the name and numbering of any new house(s) and/or flats/flat conversion(s) on existing and/or newly constructed streets must be submitted to the Highway Authority.

Any new street(s) and property naming/numbering must be agreed in accordance with the Councils Street Naming and Property Numbering Policy and all address allocations can only be issued under the Town Improvement Clauses Act 1847 (Section 64 & 65) and the Public Health Act 1925 (Section 17, 18 & 19). Please see [www.bristol.gov.uk/registeraddress](http://www.bristol.gov.uk/registeraddress)

4 The applicant should be aware that a Flood Risk Activity Permit will be required not an Ordinary Watercourse Consent, this can be obtained through the Environment Agency (Check if you need permission to do work on a river, flood defence or sea defence - GOV.UK ([www.gov.uk](http://www.gov.uk)))

5 The lux contour plan shall show lux levels at frequent intervals (lux levels at 0, 0.2, 0.5, 1, 1.5, 2, 3, 4, 5 lux and higher are particularly useful) and extend outwards to additional levels (above the pre-existing background light level) of zero lux. The lux contour levels shall be superimposed on a site plan which includes all land that is affected by raised light levels (including potentially land outside the red line planning application area) and shall reflect the use of any proposed mitigation, e.g visors.

Advice note: Lux Levels on natural habitats potentially used by nocturnal species such as bats and badgers, not previously exposed to increased light levels, will receive approximate lux levels of between 0.1 (typical moonlight/cloudy sky) and 10 (sunset) lux <https://cdn.bats.org.uk/uploads/pdf/Resources/ilp-guidance-note-8-bats-and-artifici> . Increasing lux levels in these natural habitats is likely to cause disturbance, therefore the implementation of visors etc as mitigation is strongly advised.

Guidance: According to paragraph 180 (page 52) of the National Planning Policy Framework (2019), 'Planning policies and decisions should... limit the impact of light pollution from artificial light on local amenity, intrinsically dark landscapes and nature conservation.'

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6 Nesting Birds

If works are proposed within the nesting bird period (March to August inclusive), nesting bird checks shall be completed by a suitably qualified ecological consultant to ensure that no breeding birds would be adversely affected including by disturbance by the works. Where checks for nesting birds are required, they shall be undertaken no more than 48 hours prior to the removal of vegetation. If nesting birds are found, a 5m buffer zone shall be implemented and works shall not be carried out in that area until the chicks have fledged.

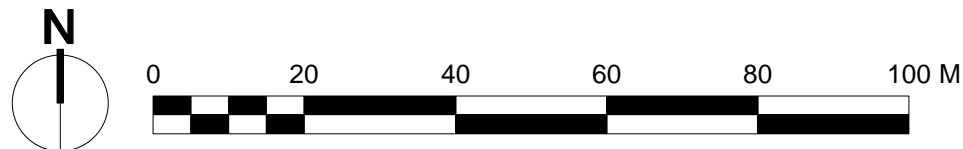
7 Travel Plan Statement / Travel Plan - Not Submitted



You are advised that a Travel Plan Statement / Travel Plan is required to be prepared and submitted using the Travel Plan Guide for New Developments and the associated templates at [www.bristol.gov.uk/travelplans](http://www.bristol.gov.uk/travelplans)

## Supporting Documents

### 1. **27A Stonebridge Park, Bristol, BS5 6RP.**

1. Site Location Plan
2. Proposed Site Plan
3. North Elevations
4. South Elevations
5. East Elevations
6. West Elevations
7. Visuals



	Application site boundary
	Boundary of adjoining land owned by Places for People Living Plus

Revision	Date	Drawn / Approved	Notes
B	29/08/2023	LW / PS	Update to red / blue line boundary
A	14/08/2023	LW / PS	Amendment to red line boundary

Places for People  
Stonebridge Park, Bristol, BS5 6RP



Do not scale this drawing. Check all dimensions on site. If in doubt ask.

**PLANNING**

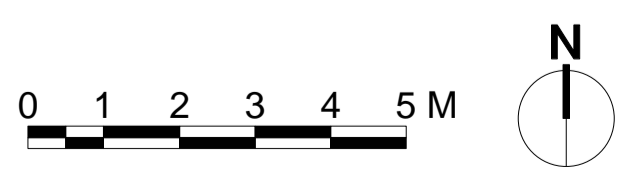
Date  
18/04/2023  
Drawn  
LW  
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HP  
Scale  
1:1000  
Page Size  
ISO A3

Drawing No  
**P-302-3-001B**  
Drawing Name  
**Site Location Plan**  
RIBA Work Stage + Status





- ① Detached 23.3m<sup>2</sup> ancillary bed space.
- ② Semi-detached 23.3m<sup>2</sup> ancillary bed space.
- ③ Non slip timber decking to provide level access into bed spaces, width allows Part M4(1) compliance
- ④ Non slip timber ramp to provide level access into bed spaces. Has Part M4(1) compliance
- ⑤ Communal garden space , proposed new tree and seating off decking



**PLANNING**

Places for People  
Stonebridge Park, Bristol, B55 6RP

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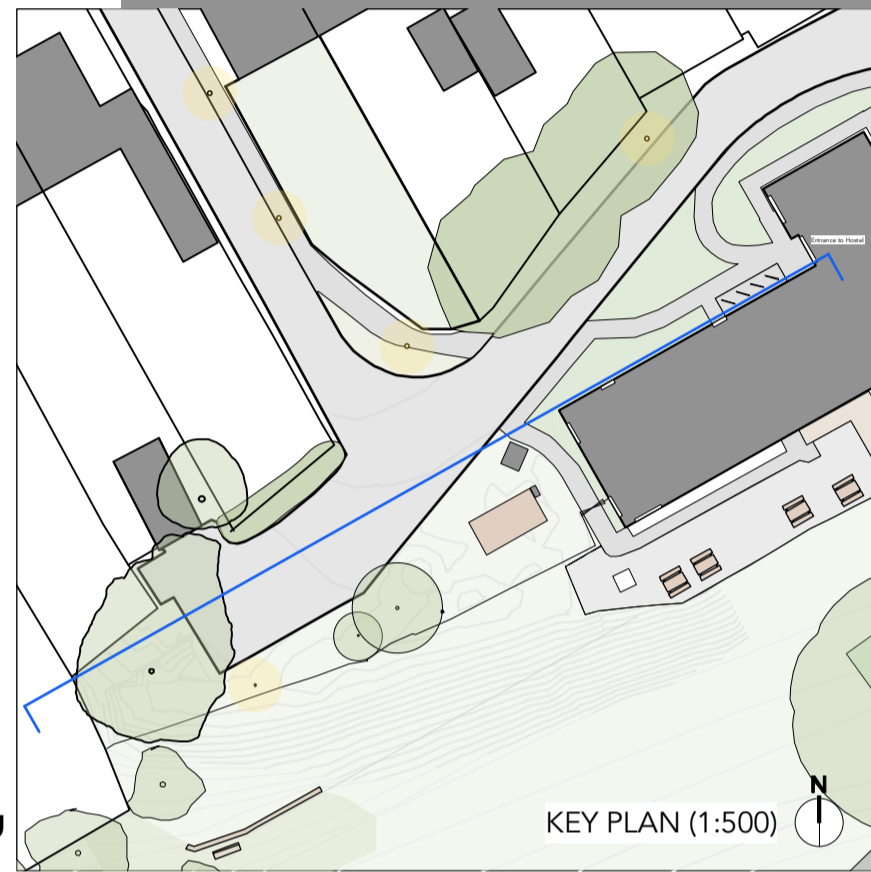
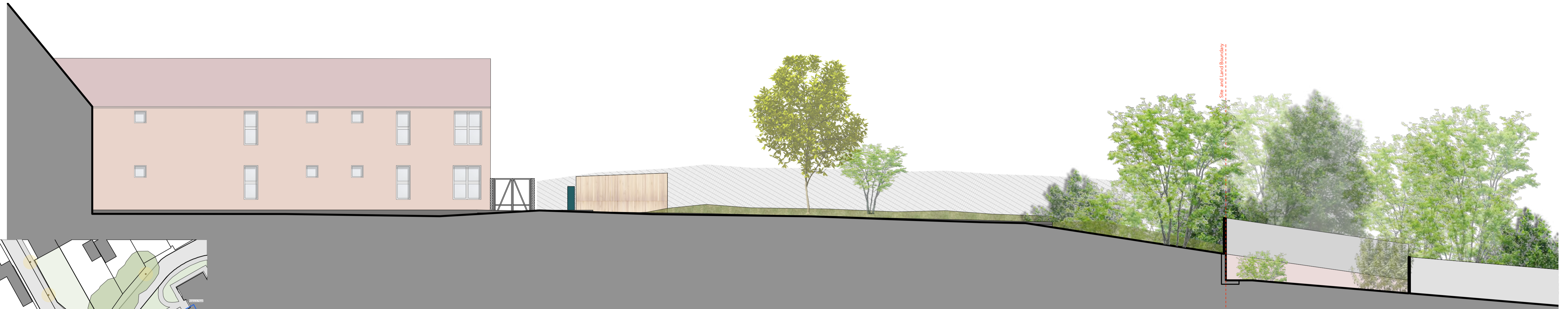
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 Checked: HP  
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Drawing No: P-302-3-021A  
 Drawing Name: Proposed Site Plan  
 RIBA Work Stage + Status: 3 Planning

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Revision	Date	Drawn / Approved	Notes
A	29/08/2023	LW / PS	Red / blue line amended

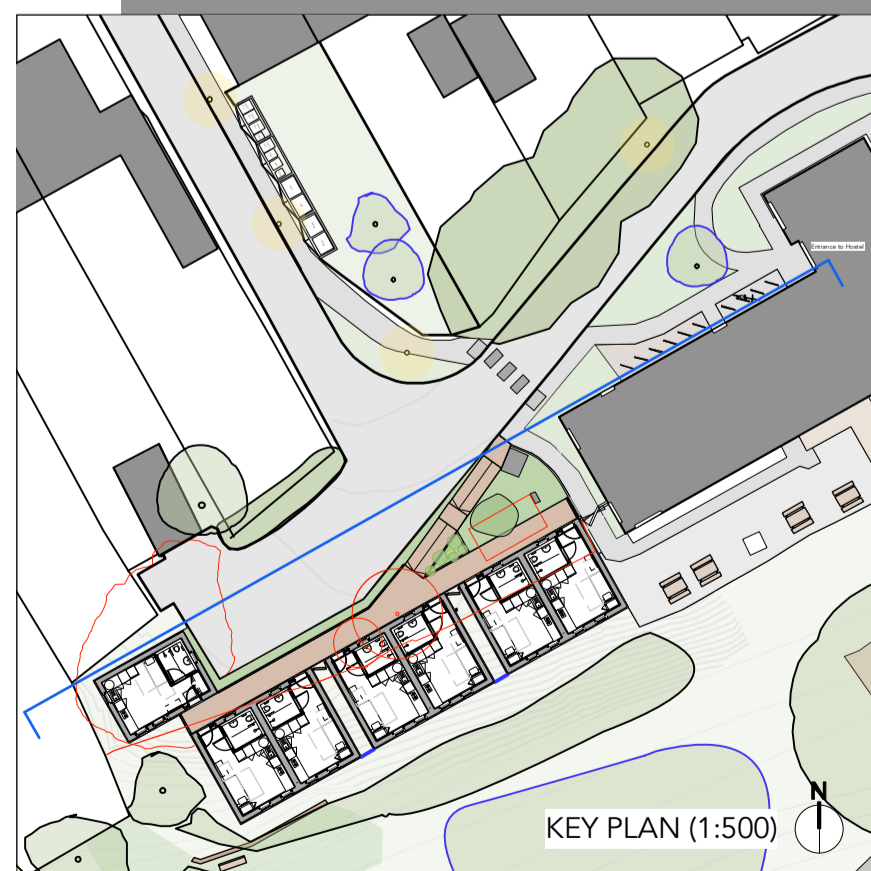




**Existing North Elevation**

- brick building
- 1.8m metal mesh fencing
- timber bin store

0 1 3 5 M

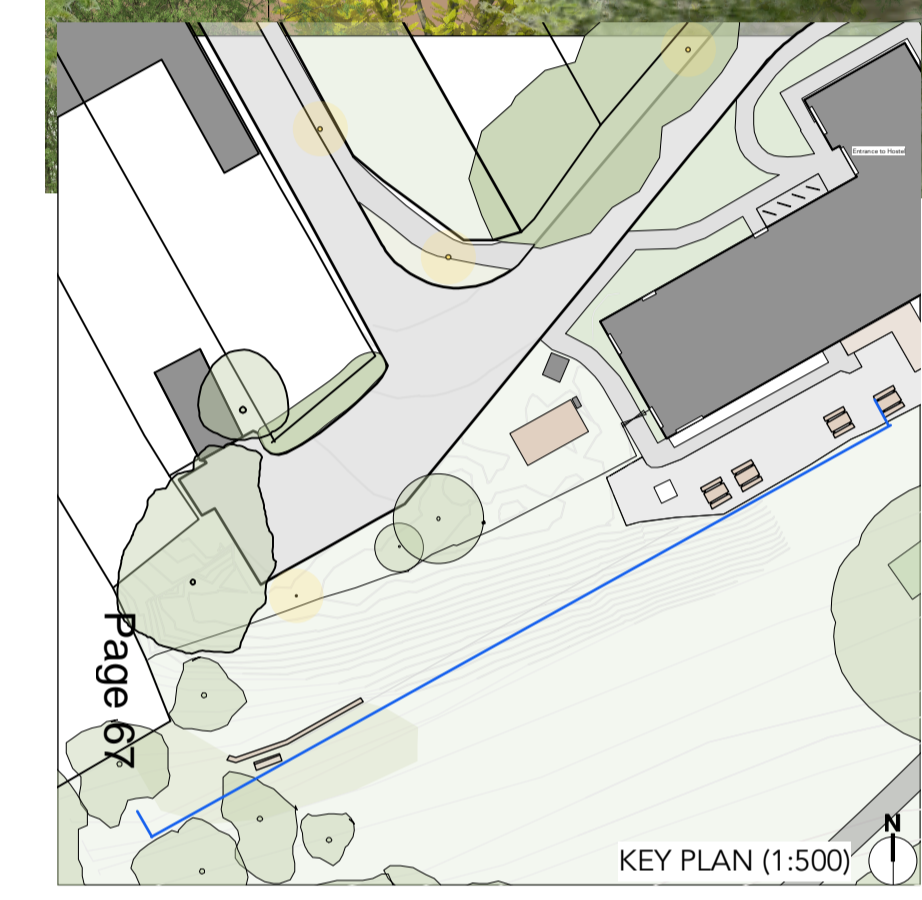


**Proposed North Elevation**

- Anthracite grey gutters
- Alu-clad triple glazed windows & doors with anthracite grey PPC externally
- Vertical larch cladding throughout
- Proposed removal of trees/structures
- Aluminium angle cap over single ply
- Timber ballustraded decking to match cladding
- Lockable non climb timber steel gate for access down the slope

0 1 3 5 M



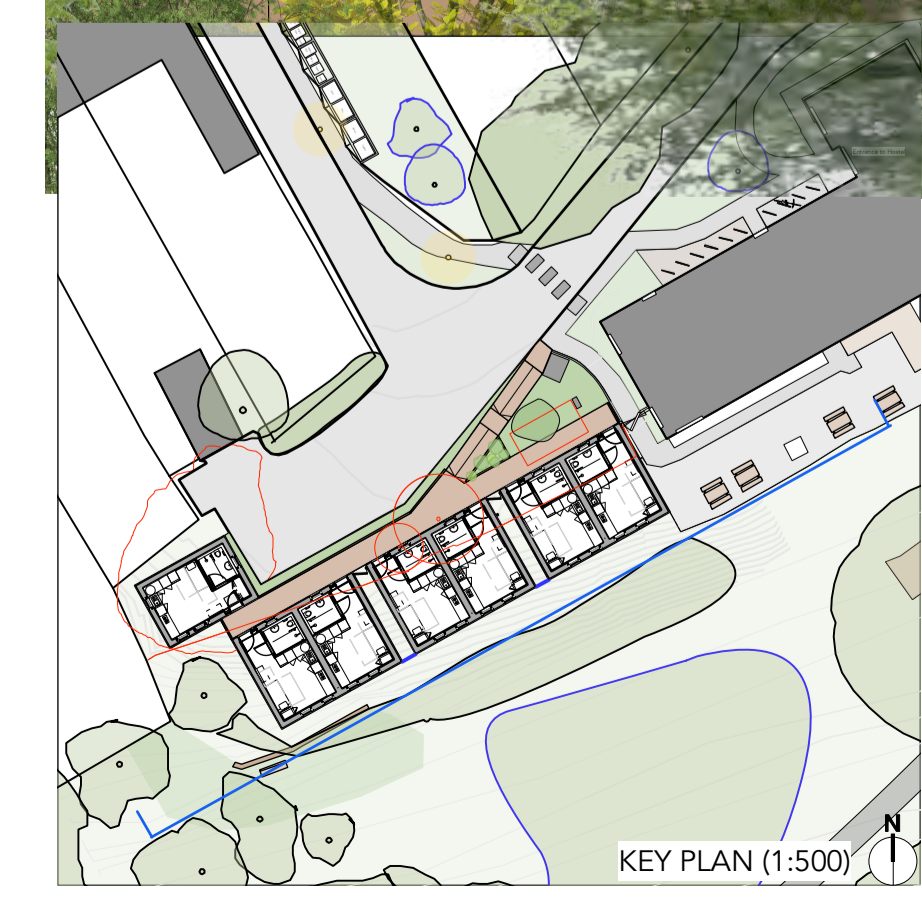


**Existing South Elevation**

- brick building
- 1.8m metal mesh fencing
- timber bin store

0 1 3 5 M

Page 67  
KEY PLAN (1:500)



**Proposed South Elevation**

- Anthracite grey gutters
- Alu-clad triple glazed windows & doors with anthracite grey PPC externally
- Vertical larch cladding throughout
- Proposed removal of trees/structures
- Aluminium angle cap over single ply
- Timber ballustraded decking to match cladding
- Lockable non climb timber steel gate for access down the slope

0 1 3 5 M

KEY PLAN (1:500)

**agile** *Planning*

Places for People  
Stonebridge Park, Bristol, BSS 6RP

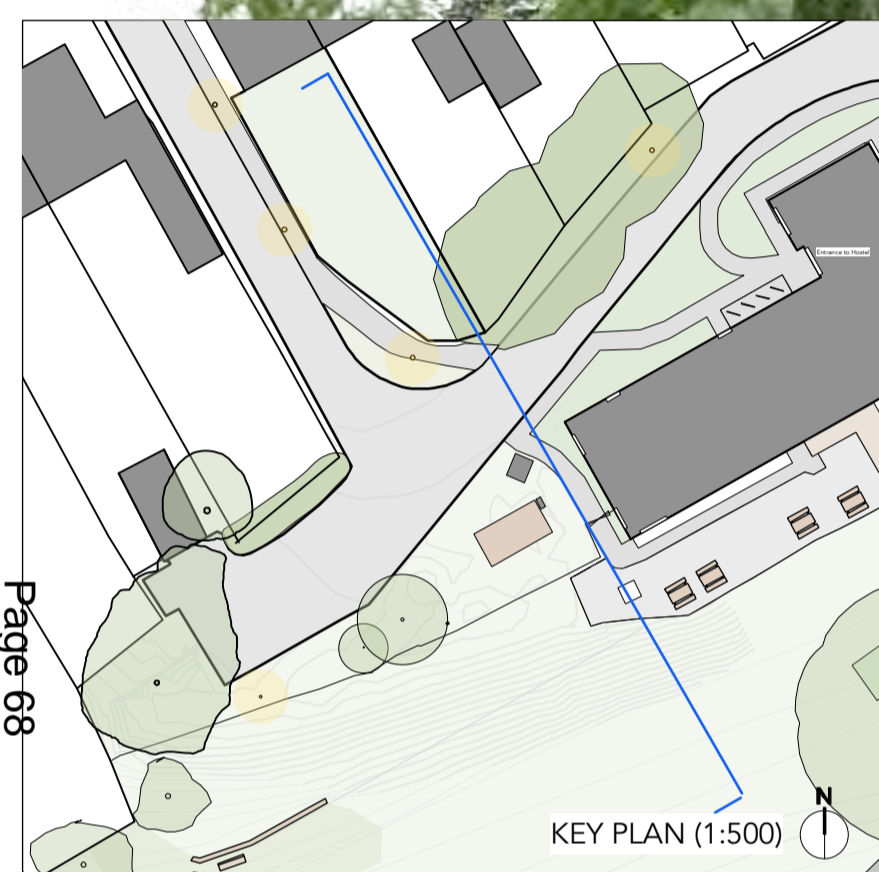
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Scale # A3: 1:200

Drawing No: P-302-3-302  
Drawing Name: Existing + Proposed South Elevation  
BSSA Work Stage - Status  
3 Planning

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Revision Date Approved Notes

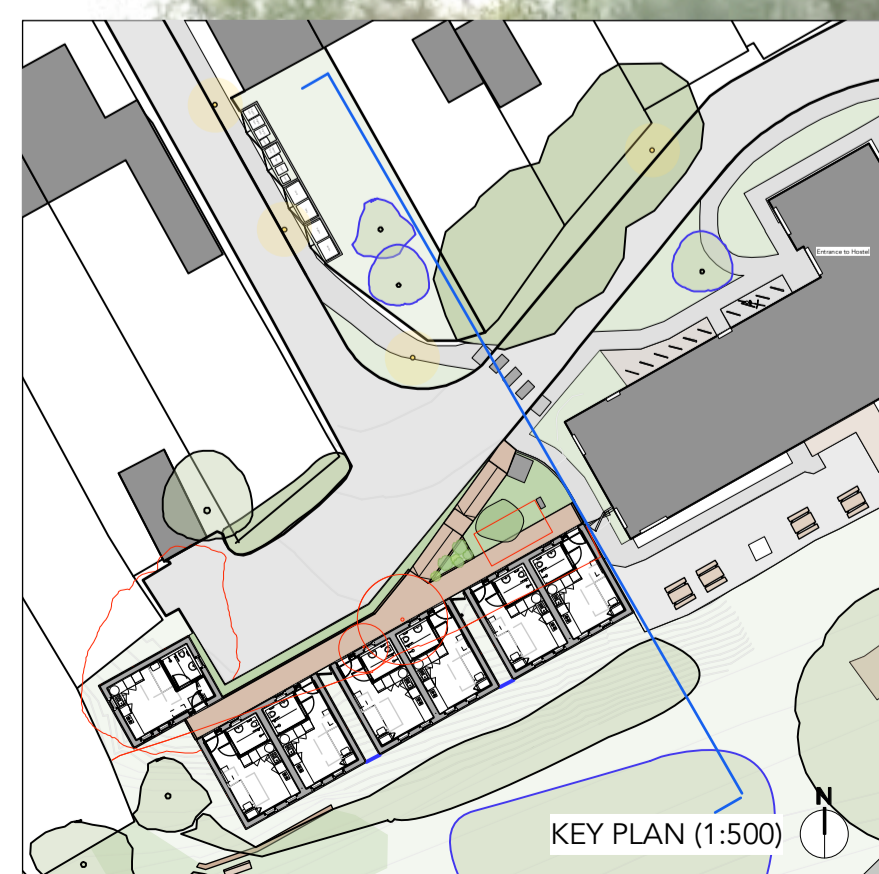




- brick building
- 1.8m metal mesh fencing
- timber bin store

0 1 3 5 M

Existing East Elevation



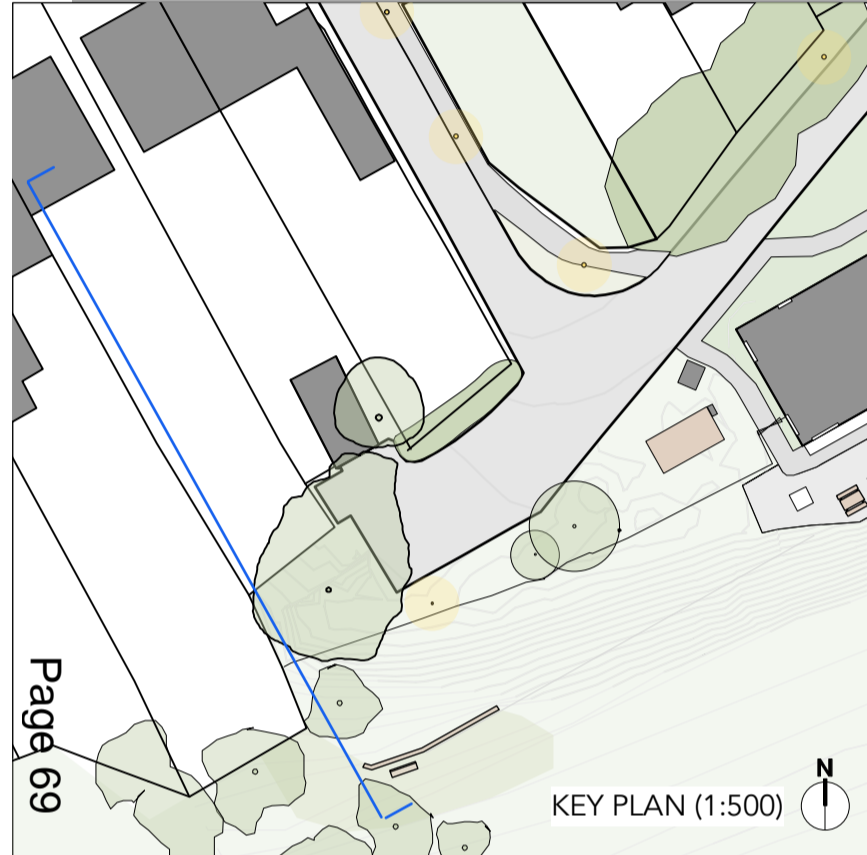
- Anthracite grey gutters
- Alu-clad triple glazed windows & doors with anthracite grey PPC externally
- Vertical larch cladding throughout
- Proposed removal of trees/structures
- Aluminium angle cap over single ply
- Timber ballustraded decking to match cladding

0 1 3 5 M

Proposed East Elevation



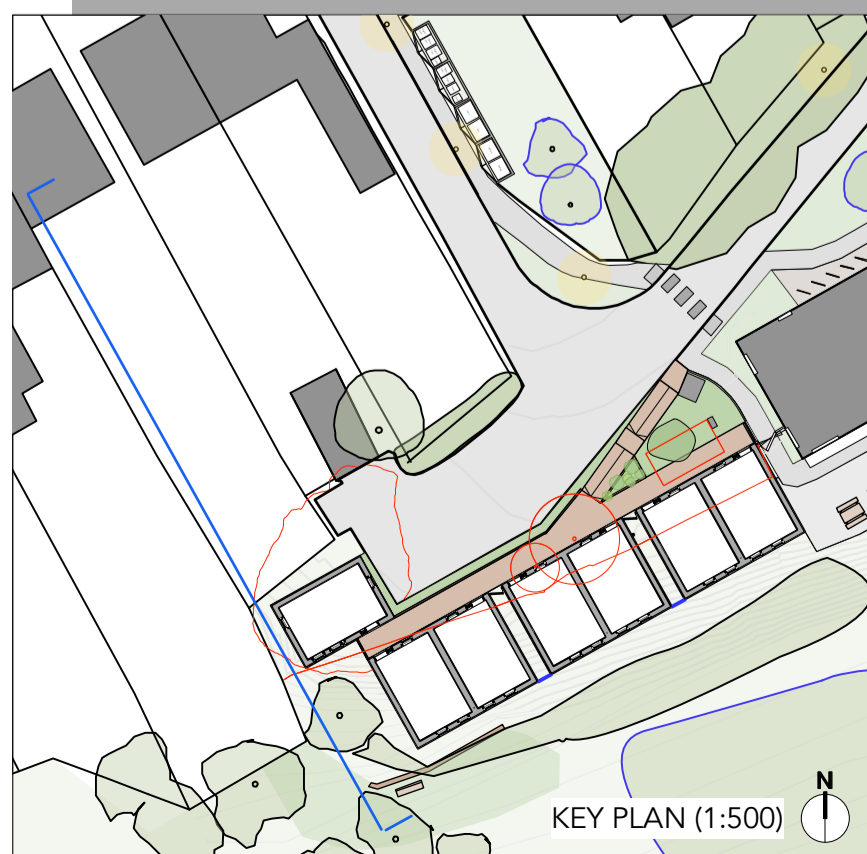




- brick building
- 1.8m metal mesh fencing
- timber bin store

0 1 3 5 M

Existing West Elevation



- Anthracite grey gutters
- Aluminium angle cap over EPDM
- Alu-clad triple glazed windows & doors with anthracite grey PPC externally
- Vertical larch cladding throughout
- Proposed removal of trees/structures
- Timber ballustraded decking to match cladding

0 1 3 5 M

Proposed West Elevation

**Planning**

Places for People  
Stonebridge Park, Bristol, BS5 6RP

**agile**

Client: 18/04/2023  
Drawn: LW  
Checked: HP  
Scale: #A1 1:100  
Scale: #A3 1:200

Drawing No: P-302-3-303  
Drawing Name: Existing + Proposed West Elevation  
PDA Work Stage - Status  
3 Planning

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Revision Date Approved Notes



View 1 — Proposed AVR1 - Type4

24mm | HFoV 74° | 96% @ A1 (scale this A3 page to fit A1)



27A Stonebridge Park, Bristol | Accurate Visual Representations | 13th April 2023 | www.preconstruct.com

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View 2 — Proposed AVR1 - Type4

24mm | HFoV 74° | 96% @ A1 (scale this A3 page to fit A1)

